

**Searcy Board of Zoning Adjustment
Meeting Minutes
March 4, 2026**

This meeting of the Board of Zoning Adjustment was held in the City Hall Chambers at 12:00 Noon, immediately preceding the regularly scheduled meeting of the Planning Commission.

Commission Members Present:

Steve Jordan, Chairman
Larry DeGroat, Vice Chairman/Secretary
Mike Cleveland
Charles Green
Jamie Mobley
Bill Patton
Todd Sparks
Lisa Wray

City of Searcy Staff Present:

Richard Stafford, City Planner
Gabrielle Ingle, Recording Secretary
Mark Lane, City Engineer
Phil Watkins, Plan Review/Building Inspector

Commission Members Not Present:

Matt Boyd

Chairman Jordan called the meeting to order and noted that a quorum was present.

Variance – C4 Lot Size & Width Requirements – Lots 1A & 1B of Charlestowne Village Addition – Davidson Engineering

The first item on the agenda was a request for a variance for the lot size and width requirements at Lots 1A and 1B of Charlestowne Village Addition, which are located in a C4 zone. Bear Davidson was present to represent this agenda item, which corresponded to a Planning Commission request for approval of a final plat at the referenced location. Mr. Davidson explained that the request involved splitting the existing Lot 1 into Lots 1A and 1B because the property owners intend to sell the existing Lot 1, and adjacent property, as four separate parcels. Mr. Davidson described the proposed lot sizes as normal for a strip mall shopping center, but the planned Lot 1B is a long and narrow parcel that does not meet the required size and width requirements of the C4 zone. Mr. Davidson explained that there is already a parking agreement in place, and the notes address shared utilities and shared fire sprinkler system maintenance.

Commissioner DeGroat asked if the process of dividing a parking lot for separate ownership, rather than designating a parking lot as common area among property owners, was normal; City Planner Richard Stafford explained that there are multiple examples throughout the city of such division of ownership, but that both methods are common. Mr. Stafford explained that this proposed parking lot was unique because it was narrow. Commissioner DeGroat asked if other sections of the parking lot in the referenced strip mall shopping center have separate ownership; Mr. Davidson confirmed that Lot 2 and Lot 3 are similarly divided and owned, and that there is an access easement. Chairman Jordan and Commissioner DeGroat asked if other units in the strip mall shopping center have been sold separately from the building in the same way; Mr. Davidson confirmed.

At Chairman Jordan's request, Mr. Stafford detailed the criteria outlined in Article 10-5 of the Zoning Code that enables the Board of Zoning Adjustment to approve applications for proposed variances. Mr. Stafford explained that the primary concerns of the review staff were related to the shared ownership of the fire sprinkler system, which was addressed by the applicant. City Engineer Mark Lane expressed concerns about setting precedent that may encourage individuals that did not intend to comply with the Zoning Code to construct similarly-shaped buildings and then apply for variances based upon the building's shape. Chairman Jordan expressed concerns that the variance request contradicted the criteria outlined in the Zoning Code because it was solely based upon a desire to increase the value and income potential of the property.

No members of the public were present to speak to this agenda item.

Commissioner Green made a motion to approve the variance. Commissioner Patton seconded the motion. Commissioners DeGroat, Cleveland, Green, Mobley, Patton, Sparks, and Wray voted in favor of the motion. Chairman Jordan voted against the motion. The motion passed with seven votes in favor, one opposed, and one absent.

Adjournment

Larry DeGroat, Secretary

**Searcy Planning Commission
Meeting Minutes
March 4, 2026**

This regularly scheduled meeting of the Planning Commission was held in the City Hall Chambers immediately following the Board of Zoning Adjustment meeting at 12:00 Noon.

Commission Members Present:

Steve Jordan, Chairman
Larry DeGroat, Vice Chairman/Secretary
Mike Cleveland
Charles Green
Jamie Mobley
Bill Patton
Todd Sparks
Lisa Wray

City of Searcy Staff Present:

Richard Stafford, City Planner
Gabrielle Ingle, Recording Secretary
Mark Lane, City Engineer
Phil Watkins, Plan Review/Building Inspector

Commission Members Not Present:

Matt Boyd

Chairman Jordan called the meeting to order and noted that a quorum was present.

Approval of Minutes

The first item on the agenda was the approval of the February Planning Commission minutes.

Commissioner Patton made a motion to approve the minutes as presented. Commissioner DeGroat seconded the motion. The motion passed unanimously.

Final Plat – Lots 1A & 1B of Charlestowne Village Addition – Davidson Engineering

The next item on the agenda was a request for approval of a final plat for Lots 1A and 1B of Charlestowne Village Addition. Bear Davidson was present to represent this agenda item, which corresponded to the preceding Board of Zoning Adjustment agenda item. City Planner Richard Stafford explained that the approval of this plat was before the Planning Commission, and not incidental, because of the corresponding variance. **Commissioner DeGroat made a motion to approve the final plat as presented. Commissioner Green seconded the motion. The motion passed unanimously.**

Rezone – UT to I2 – Forward Searcy Site No. 2 – Davidson Engineering

The next item on the agenda was a request for a rezone of Forward Searcy Site No. 2 from UT to I2. Bear Davidson was present to represent this agenda item, which he described as a parcel of approximately thirty acres of city-owned property adjacent to the airport. Mr. Davidson explained that Forward Searcy plans to market the site for future industrial development, and that they applied for grant funding to support road improvements and utility access.

Chairman Jordan requested confirmation that the applicant complied with the public notice requirements; Mr. Stafford confirmed. Chairman Jordan asked if the Airport Commission supported the proposed rezone; Darrell Welch of Forward Searcy answered that Forward Searcy approached the

Airport Commission and received their full support prior to moving forward with their plans to market the site.

Chairman Jordan opened the public hearing.

Chairman Jordan closed the public hearing.

Commissioner Green made a motion to approve the rezone as presented. Commissioner Patton seconded the motion. The motion passed unanimously.

Adjournment

Larry DeGroat, Secretary

CrossPointe Preparatory

Zoning & Operational Summary

School Name: CrossPointe Preparatory

Type: Christian University-Model K–12 School

Enrollment: 156 Students

Founded: 2009

Background & Facility History

CrossPointe Preparatory began operations in 2009, leasing space from the Downtown Church of Christ. As enrollment increased, we relocated to the Cloverdale Church of Christ. In Fall 2022, after again outgrowing our space, we moved to our current location at the West Side Church of Christ.

When the school was founded, our understanding was that a special zoning designation was not required. Upon learning that a Conditional Use Permit is needed, we are fully committed to working cooperatively with the appropriate authorities and completing the needed process.

School Model & Weekly Schedule

CrossPointe operates as a **University-Model School**, which blends classroom instruction with parent partnership at home.

- **High School Students:** Attend on-campus classes 3 days per week with satellite instruction at home 2 days per week.
 - **Elementary Students:** Attend on-campus classes 2 days per week with satellite instruction at home 3 days per week.
 - **Campus Days:** Monday, Tuesday, and Thursday
-

Daily Schedule & Traffic Flow

School Hours:

- Drop-off: 7:15–7:45 a.m.
- School begins: 7:45 a.m.

Drop-Off Location:

- North side of the building
- Parking lot at 709 W. Arch
- Main CrossPointe entrance

Students remain in the building throughout the morning.

Lunch:

- Held in the church annex
-

Outdoor Activities

- **Recess (20 minutes):**
Held in the south parking lot near the building.
This area was chosen because it is the safest outdoor space and is located away from typical church traffic during school hours.
- **Physical Education (Elementary):**
30-minute classes
Conducted indoors or outdoors depending on activity and weather
- **After-School PE (One Class):**
Mondays for one hour. This class will not meet after this semester.
- **Occasional Outdoor Academic Activities:**
Example: Forensic science mock crime scene investigations

All outdoor activities are conducted in designated areas that minimize disruption to church activities and provide safety for our students.

Use of Facilities

- Church classrooms are used for daily instruction.
 - The annex is used for student lunches.
 - All use occurs during normal weekday daytime hours.
-

Safety & Security Enhancements

CrossPointe and the church congregation have partnered to enhance building security:

- All exterior doors remain locked during school hours
 - Additional security cameras have been installed, particularly covering areas used by students
 - Bullet-resistant window film is being added
 - Door alert systems are being installed on all exterior entrances
 - Alerts will include a photo when someone enters the building
 - Completion of upgrades is expected by the end of the current school year
-

Commitment

CrossPointe Preparatory is committed to operating in a way that:

- Ensures student safety
- Minimizes disruption to surrounding properties
- Works cooperatively with the host church
- Complies fully with local zoning requirements
- We appreciate the opportunity to continue serving families in our community and look forward to completing the zoning process properly.

WESTSIDE
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CHRIST OF
SEARCY INC

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SEARCY INC

GANTT, JAMES
D & KAY T 611

TURNER,
JOSHUA & 607
JENNY GANTT

N Hickory St

108
TUCKER,
SAMUEL G &
NANETTE K

SMITH, ERIC &
TRACI

BARBER, KEVIN

WEST SIDE
CHURCH OF
CHRIST OF
SEARCY INC

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CHURCH OF
CHRIST OF
SEARCY INC

VAN PATTEN,
NANCY LYNN

THOMAS,
DAVID
MICHAEL &
TERRI A

MCKEA
BYRON
JANICE

N Pecan St

Legal Description

A PART OF SECTION 12, T-7-N, R-7-W, WHITE COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A FOUND 1/2" REBAR FOR THE MOST SOUTHERLY CORNER OF SPANISH SURVEY #2312; THENCE S33°25'37"E A DISTANCE OF 600.99 FEET TO A FOUND 1/2" REBAR (PS #300); SAID POINT BEING THE NORTHWEST CORNER OF BLOCK 1 OF TOWN AND COUNTRY PARK SUBDIVISION; THENCE S00°37'26"W ALONG THE WEST LINE OF SAID TOWN AND COUNTRY PARK SUBDIVISION A DISTANCE OF 1365.01 FEET TO A CALCULATED POINT IN THE CENTERLINE OF PARK AVENUE; THENCE N77°37'23"W ALONG SAID CENTERLINE A DISTANCE OF 922.50 FEET TO A CALCULATED POINT; THENCE DEPARTING FROM SAID CENTERLINE, N00°39'49"E A DISTANCE OF 646.92 FEET TO A SET 1/2" REBAR (CAPPED PS#1737); THENCE N89°20'11"W A DISTANCE OF 357.08 FEET TO A SET 1/2" REBAR (CAPPED PS#1737); THENCE N00°39'49"E A DISTANCE OF 1501.45 FEET TO A 1/2" REBAR ON THE SOUTHERLY LINE OF SPANISH SURVEY #2312; THENCE S62°11'42"E ALONG SAID LINE A DISTANCE OF 1036.73 FEET TO THE POINT OF BEGINNING, CONTAINING 48.17 ACRES, MORE OR LESS, AS SHOWN ON SURVEY BY PS #1737. SUBJECT TO ALL EXISTING EASEMENTS FOR ROADS OR OTHER PURPOSES.

Right of Way Dedication

A PART OF SECTION 12, T-7-N, R-7-W, WHITE COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A FOUND 1/2" REBAR (PS #28) FOR THE SOUTHWEST CORNER OF LOT H, TOWN & COUNTRY PARK SUBDIVISION; THENCE S33°25'37"E A DISTANCE OF 26.41 FEET TO A CALCULATED POINT IN THE CENTERLINE OF PARK AVENUE; THENCE N77°37'23"W ALONG SAID CENTERLINE A DISTANCE OF 922.50 FEET TO A CALCULATED POINT; THENCE DEPARTING FROM SAID CENTERLINE, N00°39'49"E A DISTANCE OF 26.02 FEET TO A FOUND 1/2" REBAR (CAPPED PS#1737); THENCE S77°38'4"E A DISTANCE OF 922.40 FEET TO THE POINT OF BEGINNING, CONTAINING 0.54 ACRES, MORE OR LESS.

Notes

- SUBDIVIDER IS THE OWNER.
- IRON PINS SHALL BE SET AT ALL PROPERTY CORNERS.
- TOTAL DEVELOPMENT
 - BEFORE ROW DEDICATION: 48.17± ACRES.
 - AFTER ROW DEDICATION: 47.63± ACRES.
- ZONING CLASSIFICATION
 - CURRENT: URBAN-TRANSITIONAL (UT)
 - PROPOSED: PLANNED UNIT DEVELOPMENT (PUD)
- NUMBER OF LOTS: 189
- PROPOSED LOT WIDTH (UNLESS NOTED): 55' AT BUILDING LINE
- SETBACKS (UNLESS NOTED):
 - A. FRONT: 15'
 - B. SIDE & REAR: 6'
- ALL LOTS HAVE A 15' EASEMENT ALONG STREETS.
- ALL CORNER LOTS HAVE A 25' RADIUS AT THE CORNER OF ALL STREETS.
- ALL ROAD INTERSECTION RADIUS ARE 25' UNLESS OTHERWISE NOTED.
- ALL CUL-DE-SAC RADIUS ARE 50' TO PROPERTY LINE.
- WATER & SEWER PROVIDED BY SEARCY WATER UTILITIES.
- PROPERTY OWNERS ASSOCIATION IS RESPONSIBLE FOR MAINTAINING ALL GREEN SPACE, DETENTION AREAS AND GAS EASEMENT.
- ALL SIDEWALKS ARE 6' IN WIDTH.
- BASIS OF BEARING: NORTH AMERICAN DATUM 1983, ARKANSAS NORTH ZONE, US SURVEY FEET.
- ACCORDING TO THE FEMA FLOOD RATE MAP (FIRM) COMMUNITY PLAN NO. 05145C0435E DATED 05/02/2012, THE ABOVE DESCRIBED PROPERTY IS LOCATED IN ZONE X AND DOES NOT APPEAR TO LIE WITHIN THE 100 YEAR FLOODPLAIN AND FLOODWAY.
- THE FOLLOWING REFERENCES WERE USED TO COMPLETE THIS PLAT:
 - SURVEY BY QUATTLEBAUM SURVEYING, LLC FOR AGH HOLDINGS, LLC DATED 12/11/2025.
 - DEED-BOOK: 2006; PAGE: 10592 RECORDED ON 8/4/2006 AT WHITE COUNTY CIRCUIT CLERKS OFFICE.
 - MISC.-BOOK: MISC 2007; PAGE 12735 RECORDED ON 8/1/2007 AT WHITE COUNTY CIRCUIT CLERKS OFFICE.

CERTIFICATE OF OWNER

We, the undersigned, owners of the real estate shown and described herein, do hereby certify that we have laid off, platted and subdivided, and hereby lay off, plat, and subdivide said real estate in accordance with the within plat.

Date of Execution: **Rand Prop. II LLC**
886 Arlington Heights Drive
Brentwood, TN 37027

CERTIFICATE OF SURVEYING ACCURACY

I, William Patrick Malone, hereby certify that this plat correctly represents a boundary survey made by me or under my supervision. All monuments either have or will be set at the appropriate time.

Date of Execution: **William Patrick Malone**
Registered Professional Land Surveyor
No. 1459, Arkansas

CERTIFICATE OF ENGINEERING ACCURACY

I hereby certify that this plat represents a plan made by me; and that all engineering requirements of the Searcy Rules and Regulations have been fully complied with.

Date of Execution: **Bear Davidson**
Registered Professional Engineer
No. 19096, Arkansas

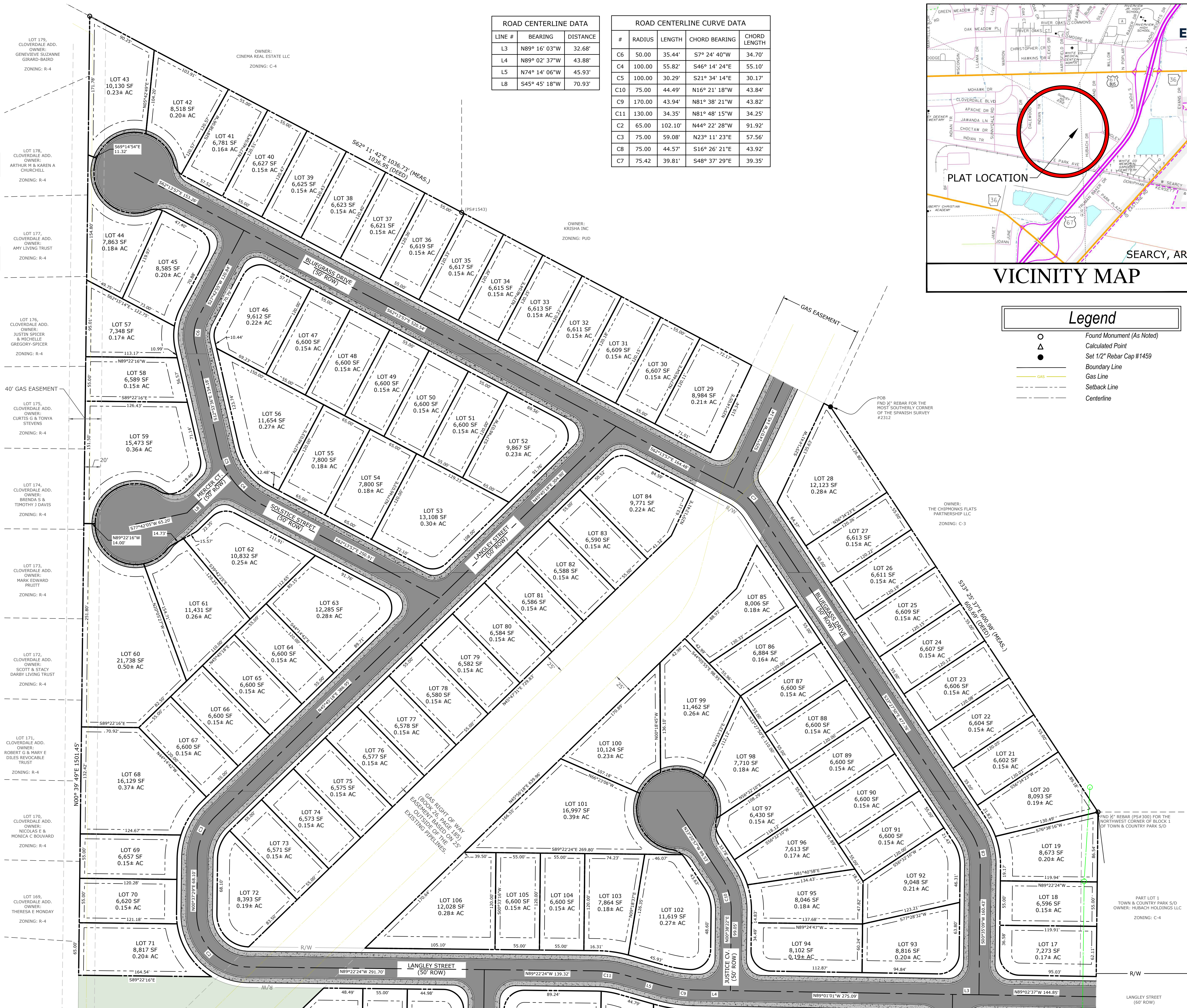
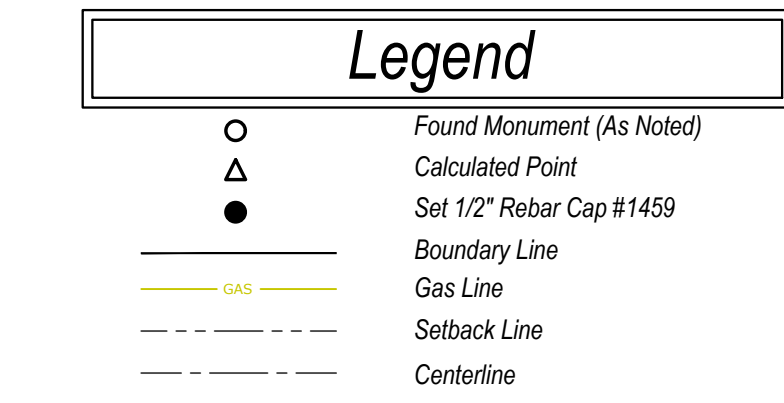
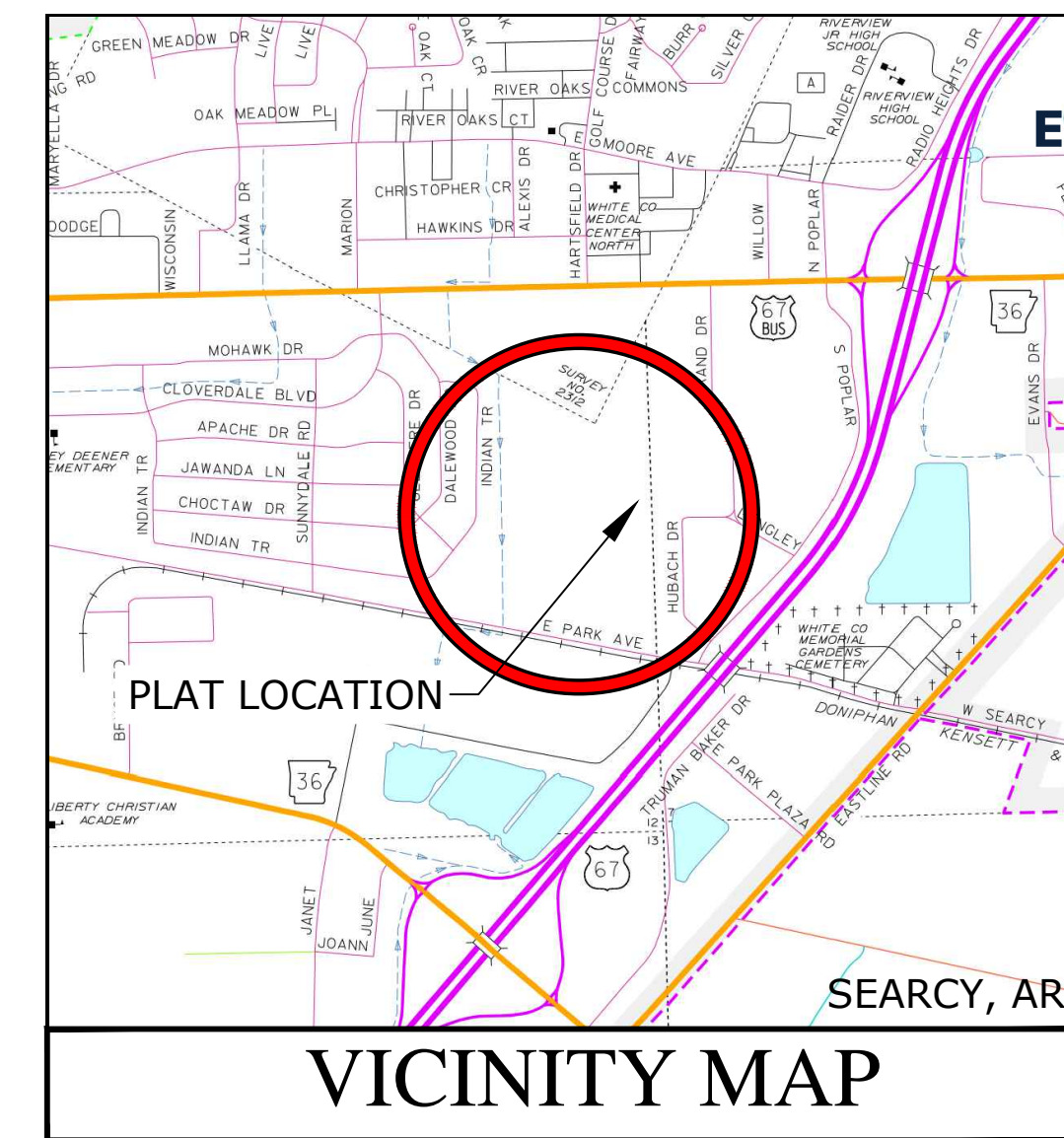
CERTIFICATE OF FINAL PLAT APPROVAL

Pursuant to City of Searcy Land Development and Subdivision Regulations, all of the conditions of the approval having been completed, this document is hereby accepted. This Certificate executed under the authority of said Rules and Regulations.

Date of Execution: **City of Searcy Planning Commission**

LINE #	BEARING	DISTANCE
L3	N89° 16' 03"W	32.68'
L4	N89° 02' 37"W	43.88'
L5	N74° 14' 06"W	45.93'
L8	S45° 45' 18"W	70.93'

#	RADIUS	LENGTH	CHORD BEARING	CHORD LENGTH
C6	50.00	35.44'	S7° 24' 40"W	34.70'
C4	100.00	55.82'	S46° 14' 24"E	55.10'
C5	100.00	30.29'	S21° 34' 14"E	30.17'
C10	75.00	44.49'	N16° 21' 18"W	43.84'
C9	170.00	43.94'	N81° 38' 21"W	43.82'
C11	130.00	34.35'	N81° 48' 15"W	34.25'
C2	65.00	102.10'	N44° 22' 28"W	91.92'
C3	75.00	59.08'	N23° 11' 23"E	57.56'
C8	75.00	44.57'	S16° 26' 21"E	43.92'
C7	75.42	39.81'	S48° 37' 29"E	39.35'



DAVIDSON ENGINEERING
210 W. ARCH AVE., STE. D
SEARCY, AR 72143
TEL. 501.388.2178

LOTS 1-189 PARKWAY MEADOWS
ADDITION TO THE CITY OF SEARCY
PARK AVENUE
SEARCY, AR 72143



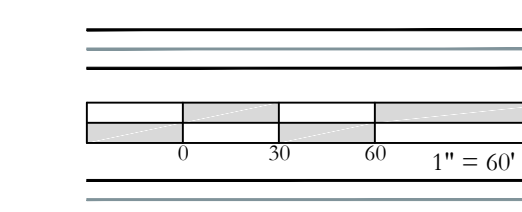
REVISIONS:

PROJECT NUMBER: DE24-127
DATE: MARCH 9, 2026

PLAT

PRELIMINARY PLAT SHEET II

Z:\24-0024-127 - Parkway Meadows - Jim Rand\preliminary\24-127 preliminary plat.dwg 3/24/26 at 7:41pm



LOTS 1-189 PARKWAY MEADOWS
ADDITION TO THE CITY OF SEARCY
PARK AVENUE
SEARCY, AR 72143



REVISIONS:

PROJECT NUMBER: DE24-127
DATE: MARCH 9, 2026

PLAT

PRELIMINARY PLAT SHEET I

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Date of Execution: Rand Prop. II LLC
886 Arlington Heights Drive
Brentwood, TN 37027

CERTIFICATE OF SURVEYING ACCURACY

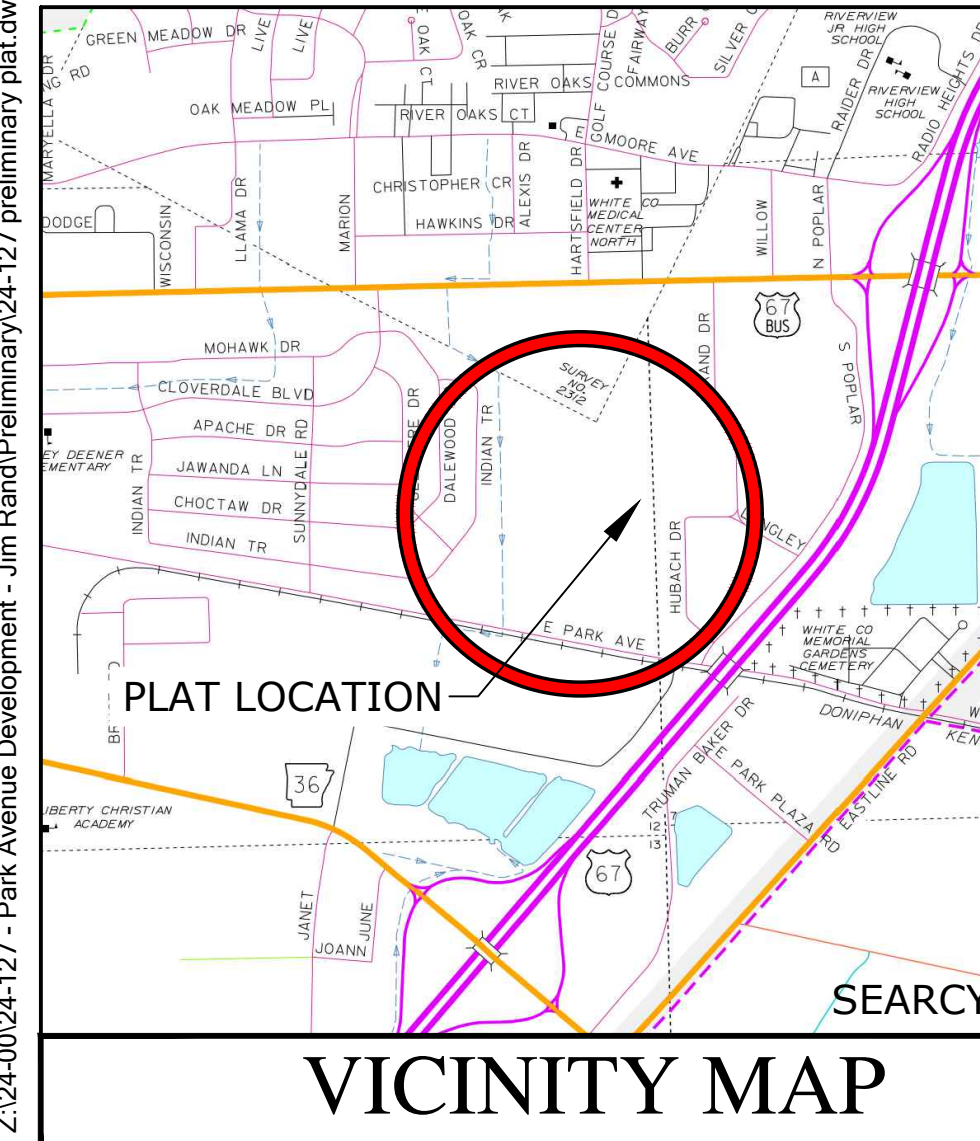
I, William Patrick Malone, hereby certify that this plat correctly represents a boundary survey made by me or under my supervision. All monuments either have or will be set at the appropriate time.

Date of Execution: William Patrick Malone
Registered Professional Land Surveyor
No. 1459, Arkansas

CERTIFICATE OF ENGINEERING ACCURACY

I hereby certify that this plat represents a plan made by me; and that all engineering requirements of the Searcy Rules and Regulations have been fully complied with.

Date of Execution: Bear Davidson
Registered Professional Engineer
No. 19096, Arkansas



CERTIFICATE OF FINAL PLAT APPROVAL

Pursuant to City of Searcy Land Development and Subdivision Regulations, all of the conditions of the approval having been completed, this document is hereby accepted. This Certificate executed under the authority of said Rules and Regulations.

Date of Execution: City of Searcy Planning Commission

Legend

- Found Monument (As Noted)
- Calculated Point
- Set 1/2" Rebar Cap #1459
- Boundary Line
- Gas Line
- Setback Line
- Centerline
- Right of Way Dedication

ROAD CENTERLINE DATA		
LINE #	BEARING	DISTANCE
L1	S11° 51' 25"W	76.31'
L2	N90° 00' 00"E	11.45'
L3	N89° 16' 03"W	32.68'
L4	N89° 02' 37"W	43.88'
L5	N74° 14' 06"W	45.93'

ROAD CENTERLINE CURVE DATA			
#	RADIUS	LENGTH	CHORD BEARING
C12	100.00'	20.42'	S6° 30' 52"W
C1	475.00'	92.80'	S6° 15' 37"W
C9	170.00'	43.94'	N81° 38' 21"W
C11	130.00'	34.35'	N81° 48' 15"W

Z:\24-0024-127 - Park Avenue Development - Jim Rand\Preliminary\24-127 preliminary plat.dwg 3/24/26 at 7:41pm



d
H

SEAL:
**NOT FOR
CONSTRUCTION FOR
REVIEW ONLY**

JOB NUMBER
25015

REVISIONS
DATE DESCRIPTION

**DAVIDSON
ENGINEERING**



PROJECT TITLE

HARDING PLACE

801 Benton Ave,
Searcy, AR 72143

DRAWING NAME

SITE PLAN

This drawing has been prepared under the architect's supervision. The architect disclaims any responsibility for the existing building structure, existing site conditions, existing construction elements, and any drawings or documents used for this project that are not signed and sealed by the architect.

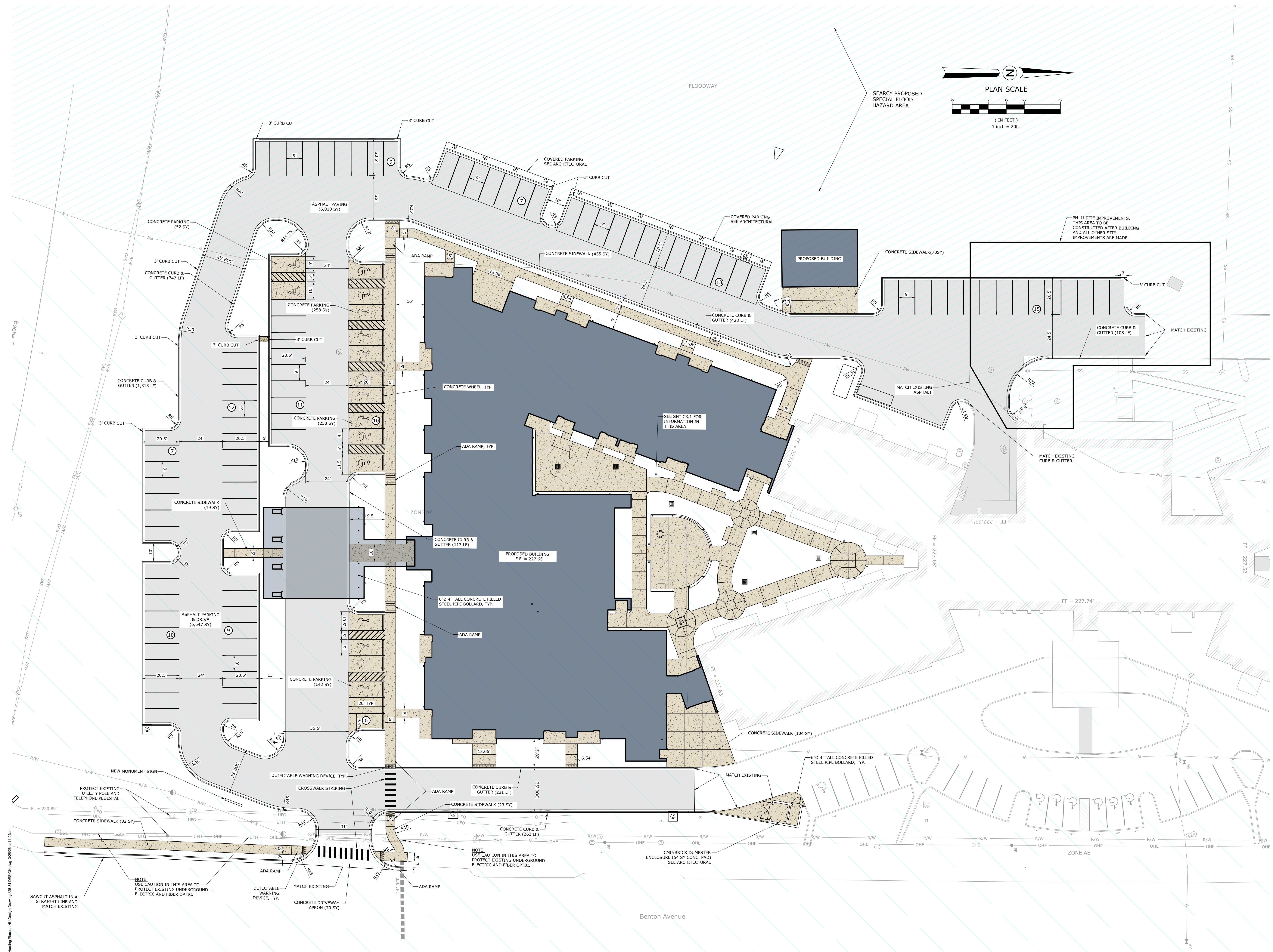
This information herein is of proprietary nature and is submitted in confidence for the use of our clients only. Unauthorized reproduction, distribution, or dissemination, in whole or in part, is prohibited. The information contained herein is and remains the property of designshop and receipt or possession of this information confers no right in or license to disclose to others the subject matter contained herein for any but authorized purposes. All rights reserved. Copyright 2025.

DATE

20 MARCH 2026
PHASE

50% CDs
DRAWING NUMBER

C3.0



Z:\25-0025-04 - Harding Place at H&M\Design Drawings\25-0025-04 DE DESIGN.dwg 3/20/26 at 11:27am

SEAL:
NOT FOR
CONSTRUCTION FOR
REVIEW ONLY

JOB NUMBER
25015

REVISIONS
DATE DESCRIPTION

DAVIDSON
ENGINEERING



PROJECT TITLE
HARDING PLACE

801 Benton Ave,
Searcy, AR 72143

DRAWING NAME
**COURTYARD
SITE PLAN**

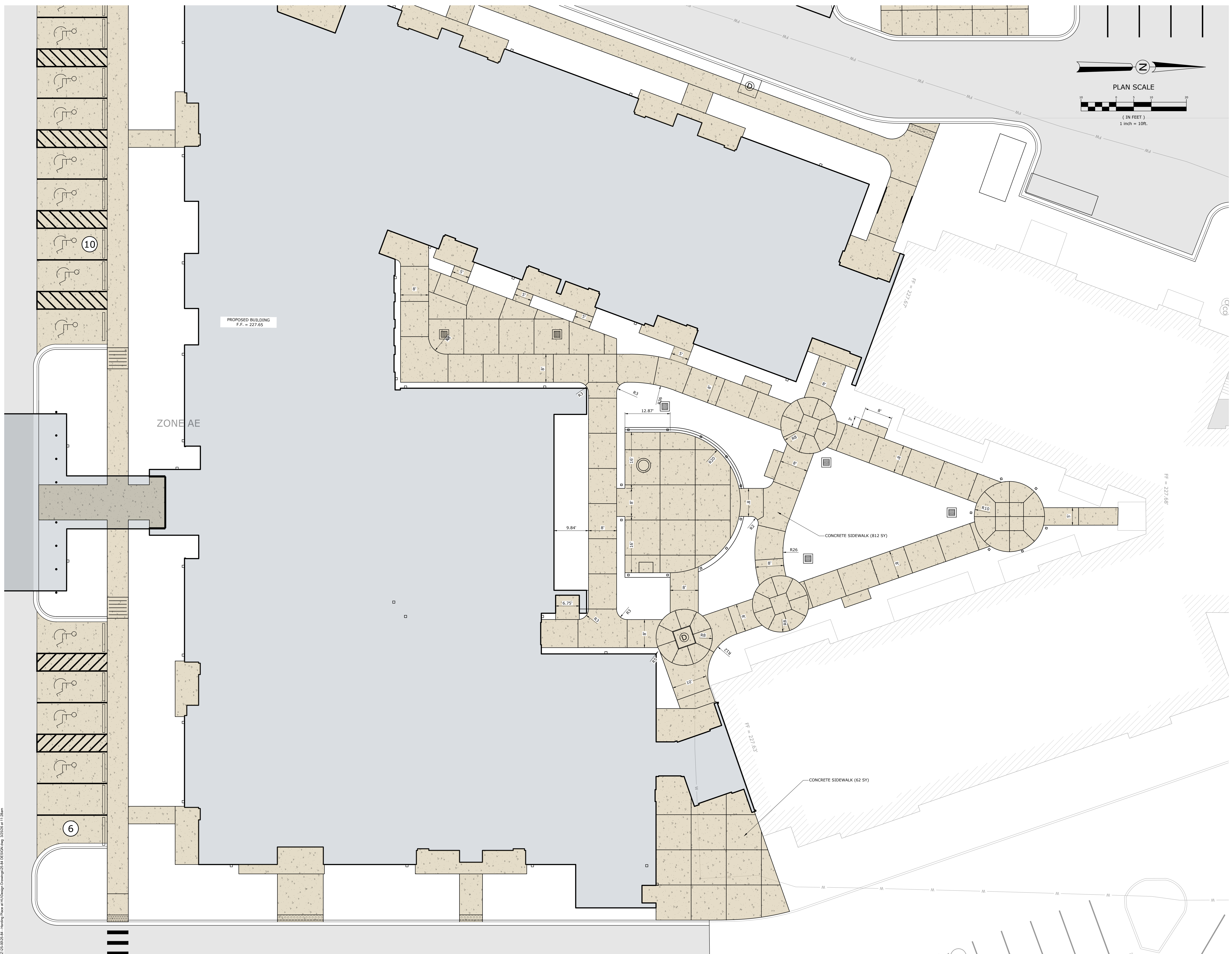
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DATE
20 MARCH 2026

PHASE
50% CDs

DRAWING NUMBER
C3.1



SEAL:
NOT FOR
CONSTRUCTION FOR
REVIEW ONLY

JOB NUMBER
25015

REVISIONS
DATE DESCRIPTION

DAVIDSON DE
ENGINEERING
2016 ARCH. ST. D
DAVIDSONENGINEERS.COM
301803, AR 72143
TEL. 901.883.2170



PROJECT TITLE
HARDING PLACE

801 Benton Ave,
Searcy, AR 72143

DRAWING NAME
**SITE UTILITY
PLAN**

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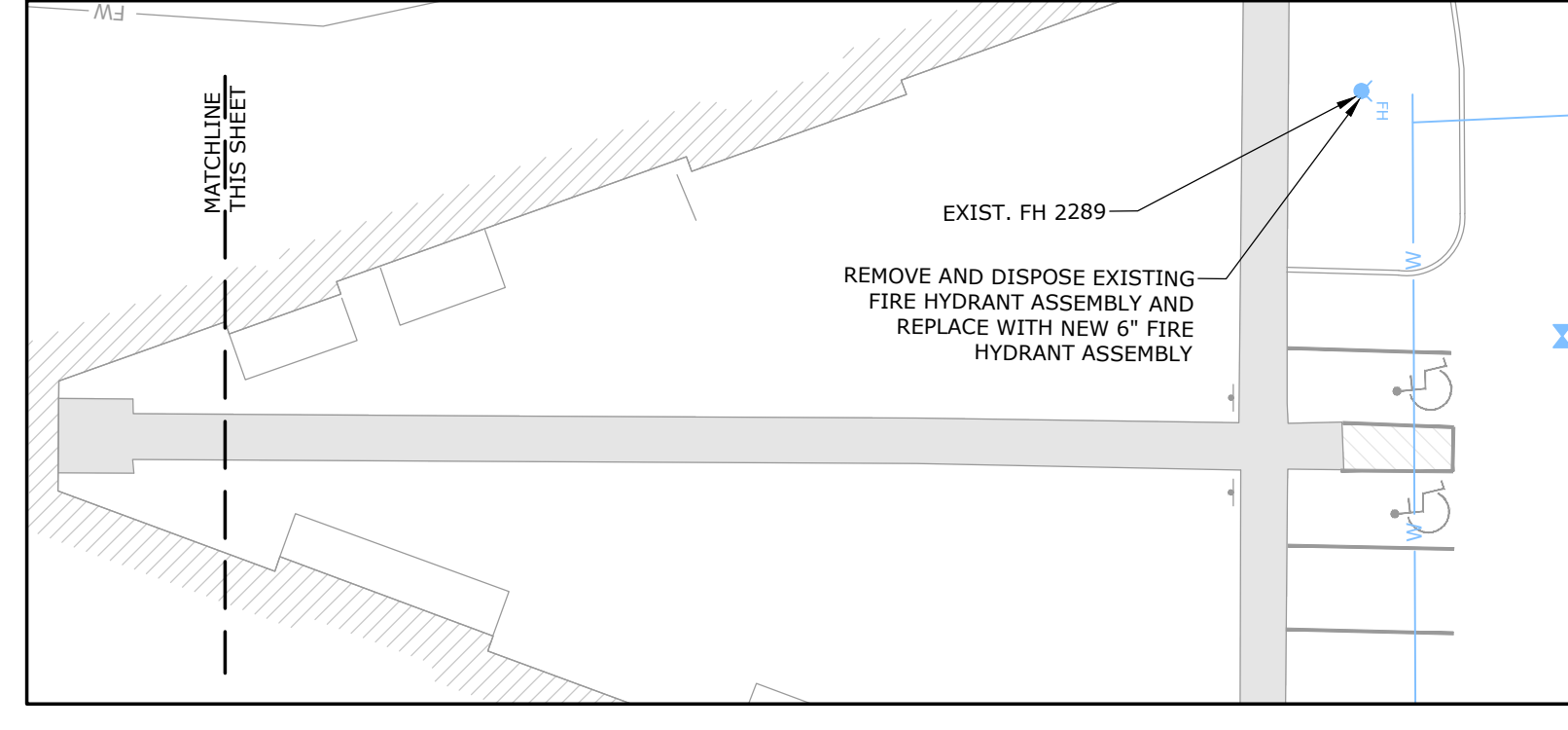
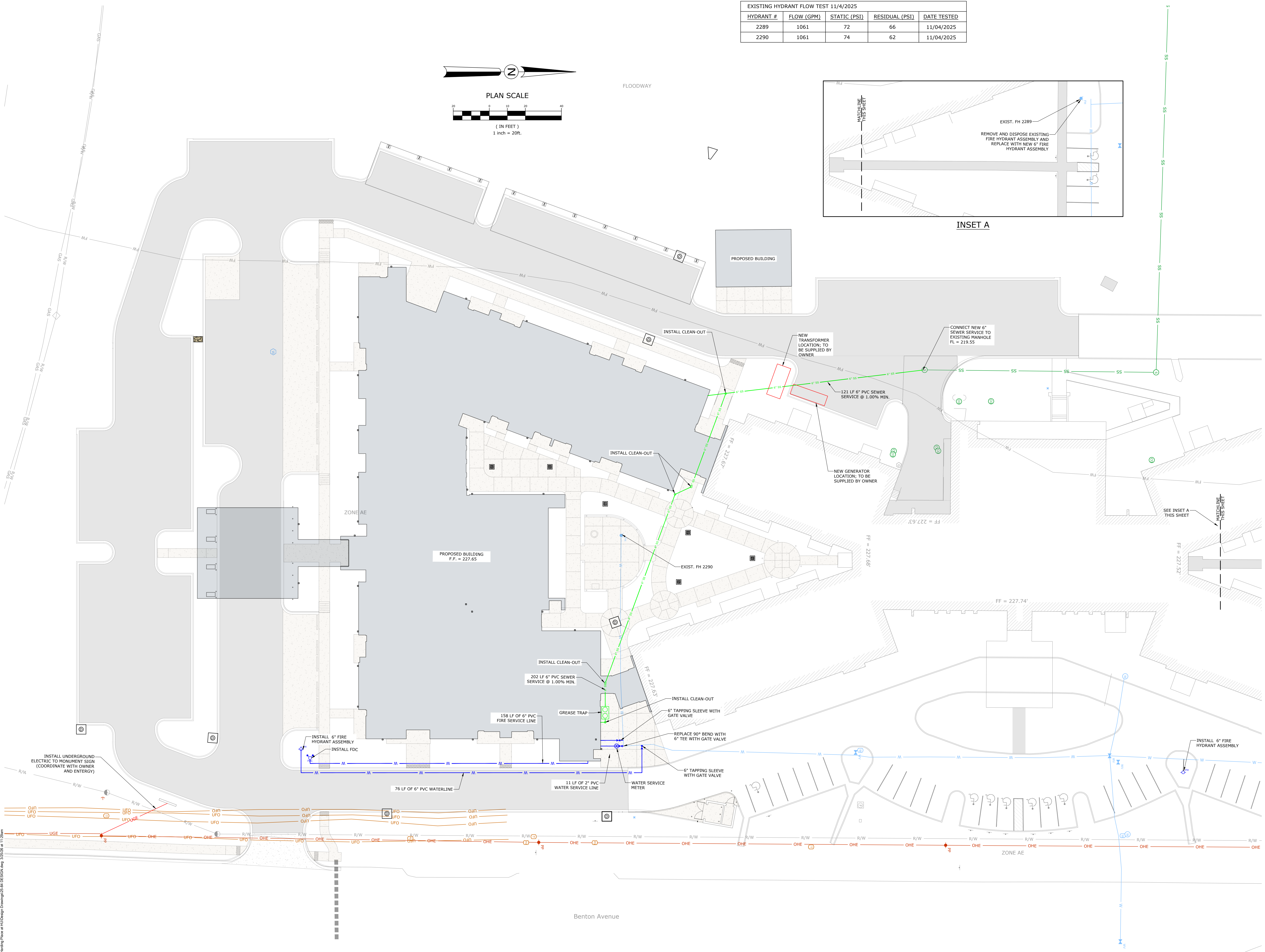
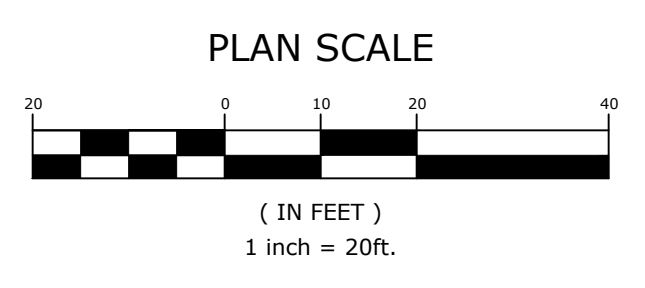
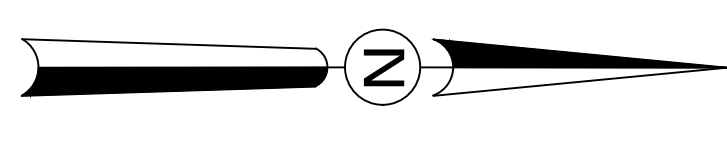
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DATE
20 MARCH 2026

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C5.0

EXISTING HYDRANT FLOW TEST 11/4/2025				
HYDRANT #	FLOW (GPM)	STATIC (PSI)	RESIDUAL (PSI)	DATE TESTED
2289	1061	72	66	11/04/2025
2290	1061	74	62	11/04/2025



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GENERAL EROSION CONTROL NOTES

- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AND CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DIRECTED BY PERMITTING AGENCY AND OWNER OR AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- PERMIT FOR ANY CONSTRUCTION ACTIVITY MUST BE MAINTAINED ON SITE AT ALL TIMES.
- CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- CONTRACTOR SHALL CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 14 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- CONTRACTOR SHALL DESIGNATE / IDENTIFY AREAS INSIDE THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.
- ALL BMPs SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED BY A MINIMUM OF 80% GRASS COVERAGE.
- ALL DEWATERING ACTIVITIES SHALL CONFORM TO ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS. DISCHARGED WATER MUST BE PROPERLY TREATED BEFORE RELEASING FROM THE SITE.

BMP MAINTENANCE

THE CONTRACTOR SHALL IMPLEMENT ALL MEASURES SHOWN ON THE EROSION CONTROL PLAN AND IN THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) TO THE FULLEST EXTENT PRACTICAL. THE CONTRACTOR SHALL HAVE CHECKED ALL SEDIMENT AND EROSION CONTROL MEASURES BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS OR EVERY FOURTEEN (14) DAYS AND WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT EXCEEDING 0.25". ALL SITE BMPs SHALL BE MAINTAINED IN A FULLY FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE SITE HAS OCCURRED. ALL SITE BMPs SHALL BE REPAIRED AND / OR CLEANED IN ACCORDANCE WITH THE FOLLOWING:

- THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION ENTRANCE(S) IN A SUCH A CONDITION THAT WILL PREVENT MUD BEING TRACKED INTO ANY PUBLIC RIGHT OF WAY(S). THIS MAY REQUIRE PERIODIC TOP DRESSING OF ALL CONSTRUCTION ENTRANCE(S) AS NECESSARY.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION. THIS MAY REQUIRE PERIODIC TOP DRESSING OF ALL PARKING AND STORAGE AREA(S) AS NECESSARY.
- CONTRACTOR SHALL REPAIR ALL SILT FENCING TO THEIR ORIGINAL CONDITION IF DAMAGED; SEDIMENT SHALL BE REMOVED FROM ALONG THE FENCE WHEN SEDIMENT REACHES NO MORE THAN ONE-HALF THE HEIGHT OF THE SILT FENCE.
- INLET BMPs SHALL BE REPAIRED AND/OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING. CONTRACTOR SHALL REPLACE IF THEY SHOW SIGNS OF DETEIORATION.
- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. CONTRACTOR SHALL FERTILIZE AND RESEED THESE AREAS AS NECESSARY.
- IF THE GRAVEL FOUND IN ANY SEDIMENT FILTER(S) BECAME CLOGGED WITH SEDIMENT, CONTRACTOR SHALL RULL THE GRAVEL AWAY, CLEAN THE GRAVEL, AND REPLACE IN THE SEDIMENT FILTER(S).

SEQUENCE OF CONSTRUCTION

- INSTALL PERIMETER EROSION CONTROL MEASURES AND TEMPORARY CONSTRUCTION ENTRANCES/CONCRETE WASHOUT.
- EXCAVATION AND EMBANKMENT TO FORM THE PAVEMENT OR GRADED AREAS.
- INSTALL STORM SEWER (ADJUST EXISTING SEDIMENT BARRIERS AS NECESSARY TO MAINTAIN SEDIMENT CONTROL).
- INSTALL UNDERGROUND UTILITIES (ADJUST EXISTING SEDIMENT BARRIERS AS NECESSARY TO MAINTAIN SEDIMENT CONTROL); ADDITIONAL SEDIMENT BARRIERS SHALL BE UTILIZED AS REQUIRED TO ROUND THE DOWN SLOPE SIDE OF UTILITY CONSTRUCTION AND SOIL STOCKPILES.
- INSTALL BUILDING.
- FINAL GRADING (SEDIMENT BARRIERS SHALL BE MAINTAINED DOWN SLOPE FROM DISTURBED SOIL DURING THIS OPERATION).
- INSTALL PAVING.
- COMPLETION OF ONSITE STABILIZATION.
- REMOVE PERIMETER EROSION CONTROL MEASURES.

GENERAL DEMOLITION NOTES

- ALL AREAS WITHIN THE LIMITS OF DISTURBANCE TO BE DEMOLISHED AND REMOVED UNLESS OTHERWISE NOTED ON THIS PLAN.
- THE CONTRACTOR IS REQUIRED TO NOTIFY THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO EXCAVATING IN ORDER THAT UNDERGROUND UTILITIES IN THE AREA CAN BE LOCATED.
- THIS PLAN SHOULD BE USED IN CONJUNCTION WITH THE TOPOGRAPHICAL SURVEY FOR REFERENCE. THE LOCATION OF KNOWN SUBSURFACE STRUCTURES, PIPES, POWER, GAS, PHONE, ETC. ARE SHOWN ON THE PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING INFORMATION AND SATISFYING HIMSELF TO AS TO THE LOCATION OF THE AFOREMENTIONED ITEMS, SHOWN AND NOT SHOWN. ALL REPAIRS OR RELOCATIONS NECESSARY SHALL BE MADE AS REQUIRED BY THE OWNER OF THE UTILITY OR STRUCTURE. THE COST OF SUCH REPAIRS OR RELOCATIONS NECESSARY SHALL BE BORNE BY THE CONTRACTOR.
- CONTRACTOR SHALL DISPOSE OF ALL MATERIALS RESULTING FROM DEMOLITION IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS THAT GOVERN SUCH OPERATIONS.
- ALL ABANDONED SERVICE LINES SHALL BE DISCONNECTED AND CAPPED PER UTILITY COMPANIES REQUIREMENTS. COORDINATE ALL DISCONNECTIONS WITH UTILITY COMPANIES.
- CONTRACTOR IS TO BRING TO THE ATTENTION OF THE CIVIL ENGINEER ANY AREA OF DEMOLITION IN QUESTION BEFORE PROCEEDING WITH WORK.
- CONTRACTOR TO REVIEW AND COORDINATE DEMOLITION LIMITS WITH PROPOSED CONSTRUCTION PLANS.
- EXISTING CLEAN TOPSOIL TO BE STOCKPILED FOR FUTURE USE ON THIS SITE AND IS TO BE COORDINATED BY THE GENERAL CONTRACTOR.
- ALL EXISTING WATER, GAS AND / OR ELECTRICAL METERS AS NOTED TO BE REMOVED WITHIN THE PROJECT AREA ARE TO BE RETURNED TO THE APPROPRIATE AUTHORITY.
- AT ALL LOCATIONS WHERE NEW ASPHALT PAVING, CONCRETE PAVING, CURB AND GUTTER, SIDEWALK OR TRAIL IS TO BE INSTALLED ADJACENT TO EXISTING PAVING OR CONCRETE THAT IS TO REMAIN, CONTRACTOR SHALL SAWCUT A CLEAN LINE.
- THE CONTRACTOR IS REQUIRED TO NOTIFY THE ONE CALL CENTER AT 811 AT LEAST 48 HOURS PRIOR TO DIGGING IN ORDER THAT UNDERGROUND UTILITIES IN THE AREA CAN BE LOCATED.

GENERAL SITE NOTES

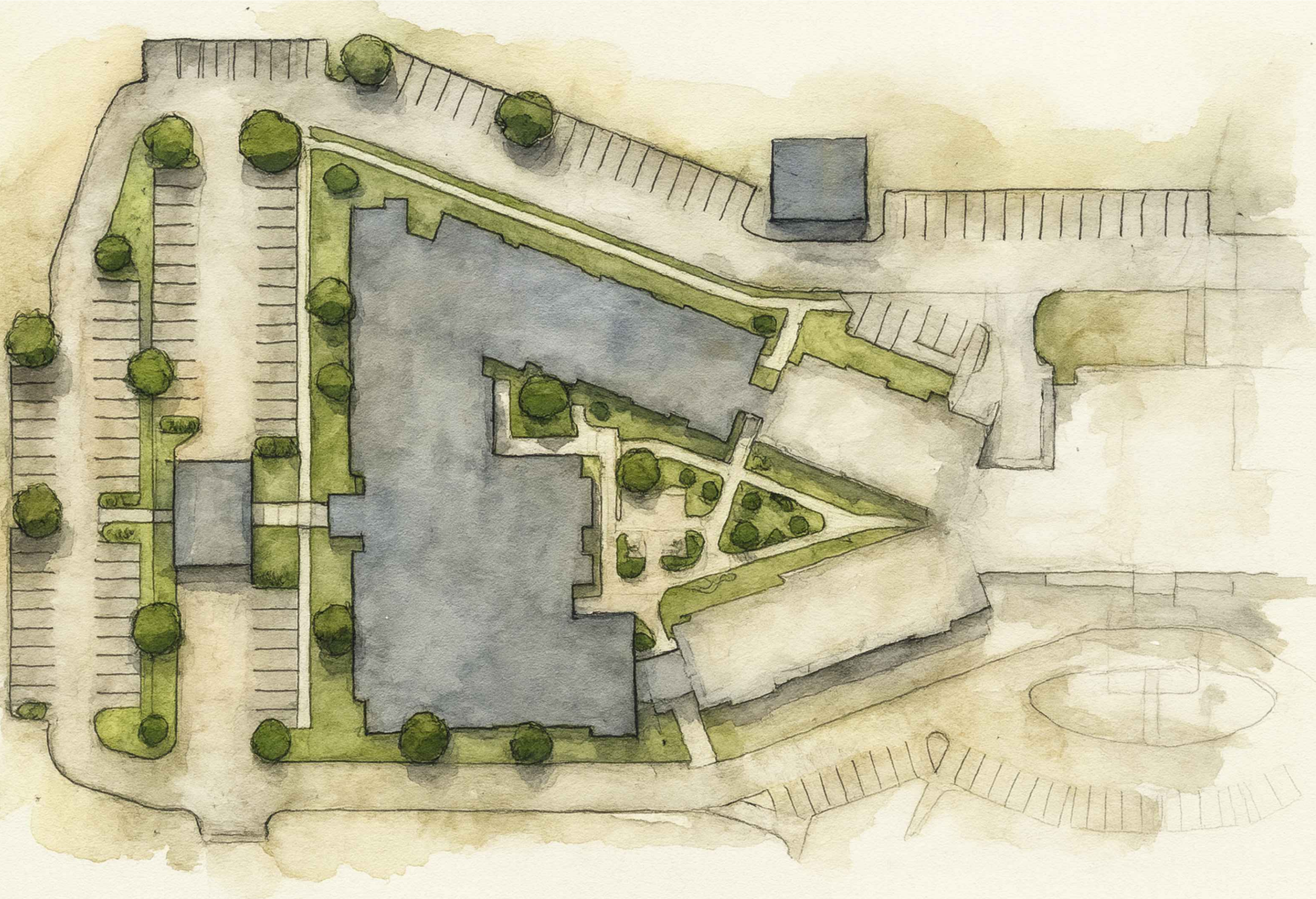
- CONTRACTOR SHALL RETAIN A FULL SET OF LATEST APPROVED CONSTRUCTION PLANS ON SITE DURING CONSTRUCTION ACTIVITIES.
- CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE SITE WORK SPECIFICATIONS PROVIDED BY DAVIDSON ENGINEERING OR AS SPECIFIED BY THE OWNER'S RESIDENT REPRESENTATIVE.
- ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES CONCERNED.
- PUBLIC CONVENIENCE AND SAFETY: THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL INSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO HIGHWAYS IN THE CONSTRUCTION AREA IN AN ADEQUATE AND SATISFACTORY MANNER IN ACCORDANCE WITH THE ARODT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
- UNLESS OTHERWISE NOTED, ALL CURBING INDICATED SHALL BE 1'-6" CONCRETE CURB AND GUTTER.
- ALL DIMENSIONS, UNLESS OTHERWISE NOTED, ARE FROM THE BACK OF CURB, FACE OF BUILDING, OR CENTERLINE OF STRIKE.
- CONTRACTOR SHALL REFER TO ARCHITECT PLANS FOR EXACT BUILDING LOCATION, DIMENSIONS, AND UTILITY ENTRANCE LOCATIONS.
- CONTRACTOR SHALL REFER TO PROJECT SPECIFICATIONS AND GEOTECHNICAL REPORT DETAILS FOR PAVING DESIGN AND PROPER MATERIALS.
- ALL RADII FOR CURBS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL RADII ON CURBS ARE 3'-0" UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL COORDINATE AND COMPLY WITH ALL UTILITY COMPANIES INVOLVED IN PROJECT AND PAY ALL REQUIRED FEES AND COSTS.
- FOR SITE UTILITIES, SEE UTILITY PLAN(S).
- ALL WORK TO BE DONE IN STRICT ACCORDANCE WITH THE OWNER'S STANDARD SITE SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION LAYOUT AND STAKING (UNLESS APPROVED OTHERWISE BY THE ENGINEER OF RECORD).
- AT ALL LOCATIONS WHERE NEW ASPHALT PAVING, CONCRETE PAVING, CURB AND GUTTER, SIDEWALK OR TRAIL IS TO BE INSTALLED ADJACENT TO EXISTING PAVING OR CONCRETE THAT IS TO REMAIN, CONTRACTOR SHALL SAWCUT A CLEAN LINE.
- THE CONTRACTOR IS REQUIRED TO NOTIFY THE ONE CALL CENTER AT 811 AT LEAST 48 HOURS PRIOR TO DIGGING IN ORDER THAT UNDERGROUND UTILITIES IN THE AREA CAN BE LOCATED.

GENERAL GRADING/DRAINAGE NOTES

- CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD OF ANY EXISTING AND PROPOSED ELEVATION INACCURACIES OR DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION.
- INFORMATION PERTAINING TO UNDER GROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD LOCATIONS WHEN POSSIBLE, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS IN ADVANCE OF MACHINE TRENCHING. IF CLEARANCES ARE LESS THAN SPECIFIED ON THESE PLANS OR 18" WHICH EVER IS LESS, CONTACT THE ENGINEER AND THE OWNER / DEVELOPER PRIOR TO PROCEEDING WITH CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OR REMOVAL OF EXISTING UNDERGROUND UTILITIES SHOWN OR NOT SHOWN AT NO ADDITIONAL COST TO THE OWNER.
- ALL STRUCTURES LOCATED WITHIN STATE RIGHT-OF-WAY OR OTHERWISE NOTED ON THESE PLANS SHALL BE CONSTRUCTED PER STATE DOT STANDARDS. IF STRUCTURE(S) ARE NOT PROTOTYPICAL OR CONSTRUCTION CANNOT BE ACHIEVED, THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO DAVIDSON ENGINEERING FOR REVIEW AND APPROVAL.
- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES ON ADJUSTING EXISTING UTILITY LINE AS REQUIRED BY CUT AND FILL AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF SHEETING, SHORING, BRACING, AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET ALL OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS.
- ALL STORM DRAIN PIPES ARE MEASURED FROM CENTER OF STRUCTURES AND END OF FLARED END SECTIONS.
- WHERE THE WORD "PIPE" IS USED, CONTRACTOR SHALL HAVE THE OPTION OF BIDDING PIPE WITH A SMOOTH INTERIOR HAVING AN "N" VALUE OF 0.013 OR LESS.
- ALL DRAINAGE STRUCTURES SHALL BE CAST-IN-PLACE (UNLESS OTHERWISE SPECIFIED OR APPROVED BY THE ENGINEER OF RECORD).
- RETAINING WALL(S) SHALL BE CONSTRUCTED TO EXTEND A MINIMUM OF 6 INCHES ABOVE THE TOP OF FINISHED GRADE. CONTRACTOR SHALL REFER TO THE RETAINING WALL PLANS FOR CONSTRUCTION AND DESIGN SPECIFICATIONS. CONTRACTOR SHALL NOTIFY THE ENGINEER IF RETAINING WALL PLANS DIFFER FROM THIS.
- ALL DISTURBED AREAS AND SLOPES SHALL BE GRADED SMOOTH AND (4") OF TOP SOIL APPLIED. THE AREA SHALL BE SEEDED AND WATERED UNTIL HARDY GRASS GROWTH HAS BEEN ESTABLISHED (SEE LANDSCAPING GENERAL NOTES FOR SEEDING MIX & SPECIFICATIONS).
- STORM SEWER TRENCHING AND BEDDING SHALL BE INSTALLED PER DETAIL.
- CONTRACTOR SHALL CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL PRACTICES IN ACCORDANCE WITH THE EROSION CONTROL PLAN AND CONSTRUCTION SCHEDULE. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR IMPLEMENTING THE SWPPP.
- REMOVE GOOD TOPSOIL FROM AREAS TO BE GRADED AND FILLED, AND PRESERVE IT FOR USE IN FINISHING THE GRADING OF ALL CRITICAL AREAS.
- SCARIFY AREAS TO RECEIVE TOPSOIL TO A MINIMUM DEPTH OF 3 INCHES BEFORE PLACING TOPSOIL PER OWNER / DEVELOPER, CITY, AND / OR DOT STANDARDS AND SPECIFICATIONS.
- CLEAR AND GRUB AREAS TO BE FILLED, REMOVE TREES, VEGETATION, ROOTS, STUMPS, BUILDING DEBRIS, AND OTHER MATERIALS THAT WOULD AFFECT THE STABILITY OF THE FILL.
- ENSURE THAT FILL MATERIAL IS FREE OF BRUSH, RUBBISH, ROCKS, LOGS, STUMPS, BUILDING DEBRIS, AND OTHER MATERIALS INAPPROPRIATE FOR CONSTRUCTING STABLE FILLS.
- DO NOT INCORPORATE FROZEN MATERIAL OR SOFT, MUCK, OR HIGHLY COMPRESSIBLE MATERIALS INTO FILL SLOPES.
- KEEP DIVERSIONS AND OTHER WATER CONVEYANCE MEASURES FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
- PERMANENTLY STABILIZE ALL GRADED AREAS AFTER FINAL GRADING IS COMPLETED ON EACH AREA OF THE GRADING PLAN. APPLY TEMPORARY STABILIZATION MEASURES ON ALL GRADED AREAS WHEN WORK IS TO BE INTERRUPTED OR DELAYED (SEE EROSION CONTROL PLAN(S)).
- CONTRACTOR SHALL MATCH TOP OF PROPOSED DRAINAGE STRUCTURES WITH PROPOSED GRADES. IF A DISCREPANCY OCCURS BETWEEN PROPOSED GRADES AND PROPOSED STRUCTURE TOPS, THE GRADING SHALL GOVERN. IF THE DISCREPANCY IS MORE THAN 4 INCHES, THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD.
- ALL UTILITIES, INCLUDING STORM SEWER, SHOWN WITHIN PUBLIC EASEMENTS OR RIGHT-OF-WAYS SHALL BE CONSTRUCTED TO THE GOVERNING AGENCY'S SPECIFICATIONS. ALL OTHER UTILITIES SHALL BE CONSTRUCTED TO THE CLIENT'S OR THE GOVERNING AGENCY'S SPECIFICATIONS, WHICHEVER IS MORE STRINGENT. IF THERE IS A QUESTION AS TO WHICH SPECIFICATIONS SHOULD APPLY, THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY.
- CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY (STATE ONE CALL SYSTEM) AND LOCATE ALL UTILITIES PRIOR TO GRADING START.
- SITE GRADING SHALL NOT PROCEED UNTIL PERIMETER EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- REFER TO GEOTECHNICAL REPORT FOR GENERAL DESCRIPTION OF SOIL STRATA AND INFORMATION ON EXISTING ROCK.
- CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION LAYOUT AND STAKING (UNLESS APPROVED OTHERWISE BY THE ENGINEER OF RECORD).
- AT ALL LOCATIONS WHERE NEW ASPHALT PAVING, CONCRETE PAVING, CURB AND GUTTER, SIDEWALK OR TRAIL IS TO BE INSTALLED ADJACENT TO EXISTING PAVING OR CONCRETE THAT IS TO REMAIN, CONTRACTOR SHALL SAWCUT A CLEAN LINE.
- THE CONTRACTOR IS REQUIRED TO NOTIFY THE ONE CALL CENTER AT 811 AT LEAST 48 HOURS PRIOR TO DIGGING IN ORDER THAT UNDERGROUND UTILITIES IN THE AREA CAN BE LOCATED.

GENERAL UTILITY NOTES

- ALL WATER MAINS SHALL BE DID, UNLESS OTHERWISE SPECIFIED ON THE PLANS. SIZE AS NOTED ON THE PLANS AND TO MAINTAIN 30" OF COVER (MINIMUM). ALL SEWER MAINS SHALL BE PVC (SDR-26), UNLESS OTHERWISE SPECIFIED ON THE PLANS. SIZE AS NOTED ON THE PLANS AND TO MAINTAIN 48" OF COVER (MINIMUM). ALL FIRE / FDC LINES SHALL BE DUCTILE IRON, UNLESS OTHERWISE SPECIFIED ON THE PLANS. SIZE AS NOTED ON THE PLANS AND TO MAINTAIN 36" OF COVER (MINIMUM). ALL DOMESTIC WATER SERVICE LINES SHALL BE POLYETHYLENE PIPE, UNLESS OTHERWISE SPECIFIED ON THE PLANS. SIZE AS NOTED ON THE PLANS AND TO MAINTAIN 36" OF COVER (MINIMUM). ALL DOMESTIC SANITARY SEWER SERVICE LINES SHALL BE PVC (SCH40), OR OTHERWISE SPECIFIED ON THE PLANS. SIZE AS NOTED ON THE PLANS AND TO MAINTAIN 36" OF COVER (MINIMUM).
- EXISTING UTILITIES SHOWN ON PLANS HAVE BEEN SHOWN IN THEIR APPROXIMATE LOCATIONS PER AVAILABLE INFORMATION.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM THE APPROPRIATE UTILITY AUTHORITIES AND THE OWNER, AND THE CONTRACTOR HAS BEEN NOTIFIED BY DAVIDSON ENGINEERING.
- CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP ANY WATER MAIN UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE LIABILITY OF THE CONTRACTOR. DAVIDSON ENGINEERING AND THE OWNER ARE TO BE HELD HARMLESS.
- ALL TRENCHING, BACKFILLING AND PIPE LAYING IS TO MEET ALL OSHA REQUIREMENTS.
- THE LOCATION, DESCRIPTION AND SIZE OF ALL ABOVE-GROUND AND UNDER-GROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN DETERMINED (UNLESS APPROVED OTHERWISE BY THE ENGINEER OF RECORD) AND PROPER ACCURACY CONTROL PROCEDURES. HOWEVER, INFORMATION SHOWN HEREON IS NOT WARRANTED TO BE CORRECT IN EVERY DETAIL BECAUSE OF INACCURACIES IN OR LACK OF EXISTING DATA OR MAPS AND THE INABILITY TO VERIFY IN THE FIELD. PERSONS USING INFORMATION CONTAINED HEREON ARE HEREBY CAUTIONED ACCORDINGLY.
- REFER TO BUILDING PLANS FOR SITE LIGHTING ELECTRICAL PLANS.
- ALL WATER & SEWER DESIGNS ARE SUBJECT TO THE CITY'S LATEST DESIGN CRITERIA REVIEW FOR PLAT APPROVAL. IF APPROVAL IS NOT APPROVAL OF PUBLIC IMPROVEMENTS, AND ALL PROPOSED IMPROVEMENTS ARE SUBJECT TO FURTHER REVIEW AT THE TIME CONSTRUCTION PLANS ARE SUBMITTED.
- ANY DAMAGE TO THE EXISTING PUBLIC STREET DUE TO CONSTRUCTION SHALL BE REPAIRED / REPLACED AT THE OWNER'S / DEVELOPER'S EXPENSE.
- WATER AND SEWER IMPACT FEES WILL APPLY FOR THE ADDITIONAL IMPACT TO THE SYSTEM (IF APPLICABLE). THE FEES WILL BE BASED ON THE PROPOSED METER SIZE AND WILL BE CHARGED AT THE TIME OF METER SET (IF APPLICABLE).
- ALL UTILITY SERVICE LINES TO BE CONNECTED TO NEW MAINS OR RELOCATED AS NEEDED FOR INSTALLATION OF STORM SEWER SYSTEM.
- ALL CONDUITS PLACED BY CONTRACTOR MUST HAVE 3/4" OF COVER AT FINAL GRADE AND MARKED WITH POSTS TO IDENTIFY THE ENDS OF CONDUITS. THERE MUST BE A MINIMUM SEPARATION OF 12" BETWEEN ELECTRICAL CONDUITS AND CONDUITS FOR OTHER UTILITIES.
- SERVICE TAPS ON UTILITY MAINS (PROPOSED AND / OR EXISTING) SHALL BE MADE BY THE CITY, AND FEES PAID BY CONTRACTOR.
- ALL UNDERGROUND LINES SHALL BE INSPECTED BY THE ENGINEER, OR HIS REPRESENTATIVE, PRIOR TO BACK FILLING.
- SANITARY SEWER MAIN LINE TRENCHING AND BEDDING SHALL BE INSTALLED PER DETAIL. DOMESTIC SANITARY SEWER SERVICE LINE TRENCHING AND BEDDING SHALL BE INSTALLED PER DETAIL.
- WATER MAIN AND / OR FDC LINE TRENCHING AND BEDDING SHALL BE INSTALLED PER DETAIL. DOMESTIC WATER SERVICE LINE TRENCHING AND BEDDING SHALL BE INSTALLED PER DETAIL.
- ALL WATER LINE DIMENSIONS SHOWN ARE TO CENTER OF PIPE OR FITTING; ALL SEWER LINE DIMENSIONS ARE SHOWN TO CENTER OF MANHOLE OR CENTER OF PIPE.
- TESTING OF WATER AND SEWER LINES SHALL BE AT THE CONTRACTOR'S EXPENSE.
- TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE EITHER FLUSH WITH FINISHED GRADES IN PAVED AREAS, OR 4" ABOVE FINISHED GRADES IN UNPAVED AREAS.
- TOPS OF PROPOSED MANHOLES SHALL BE FLUSH WITH FINISHED GRADES IN PAVED AREAS, OR 4" ABOVE FINISHED GRADES IN UNPAVED AREAS.
- ALL UTILITIES UNDER PAVED AREAS SHALL RECEIVE CLASS 7 BASE BACKFILL FULL DEPTH.
- MAINTAIN MINIMUM HORIZONTAL SEPARATION OF 10' BETWEEN WATER AND SEWER MAINS AND 3' BETWEEN OTHER UNDERGROUND UTILITIES SUCH AS STORM SEWER, ELECTRICAL, GAS, DOMESTIC WATER / SEWER SERVICE LINES, AND CONDUITS.



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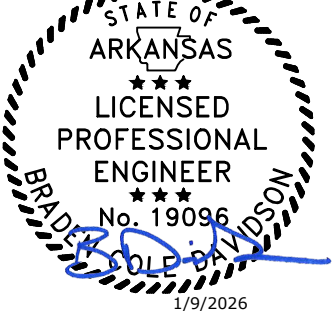
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JOB NUMBER

25015

REVISIONS
DATE DESCRIPTION

DAVIDSON
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DAVIDSONENGINEERING.COM
MEMPHIS, TN 38103



PROJECT TITLE

HARDING PLACE

801 Benton Ave,
Searcy, AR 72143

DRAWING NAME

GENERAL
NOTES

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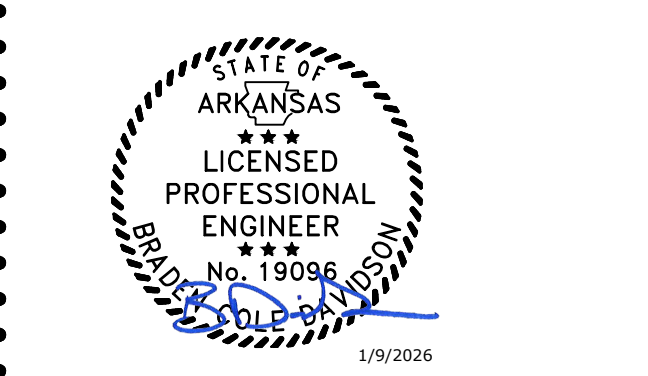
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25015

REVISIONS
DATE DESCRIPTION

DAVIDSON
ENGINEERING DE



PROJECT TITLE

**HARDING
PLACE**

801 Benton Ave,
Searcy, AR 72143

DRAWING NAME
**DEMOLITION
AND EROSION
CONTROL PLAN**

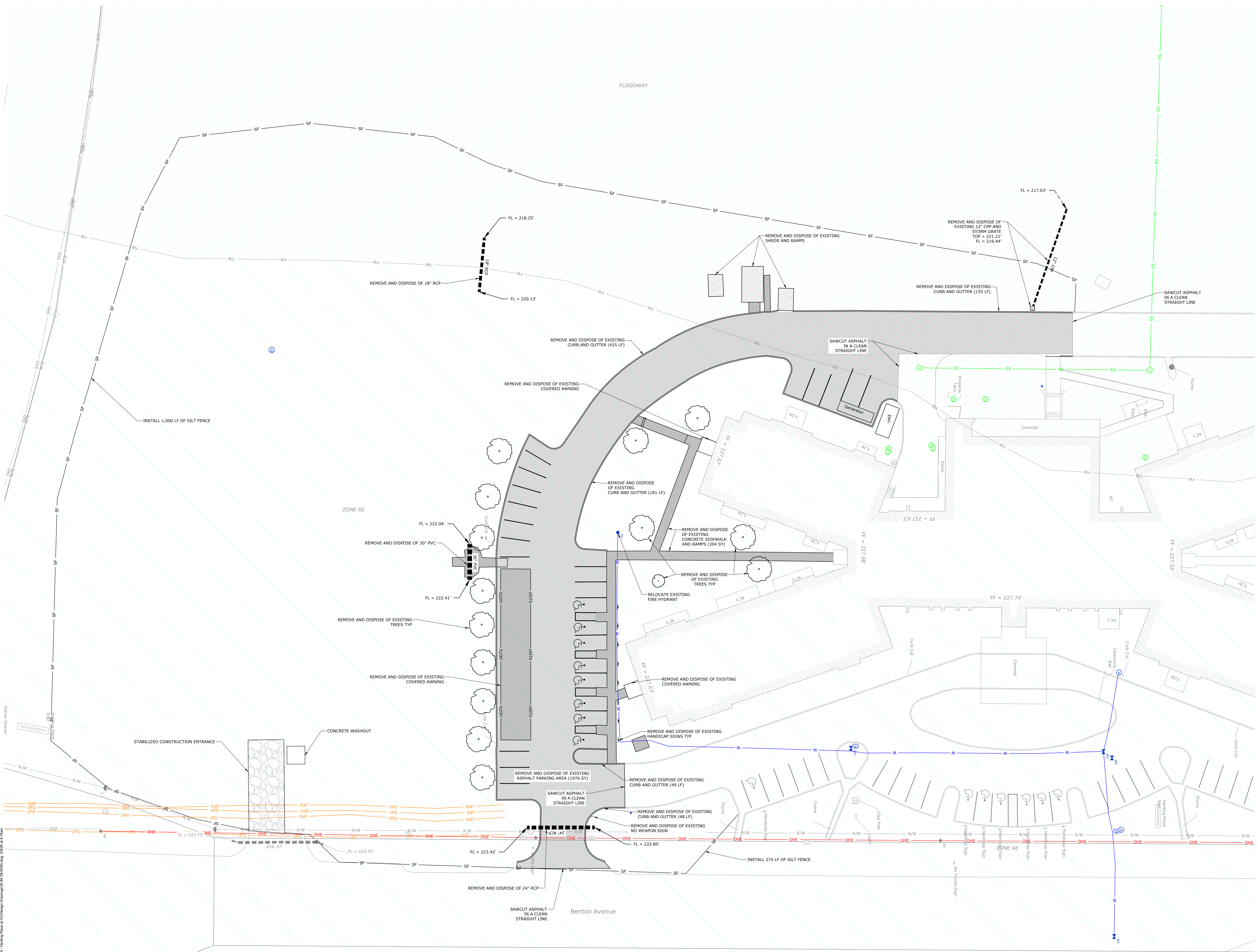
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DATE
9 JAN. 2026
PHASE

100% Design Development
DRAWING NUMBER

C2.0



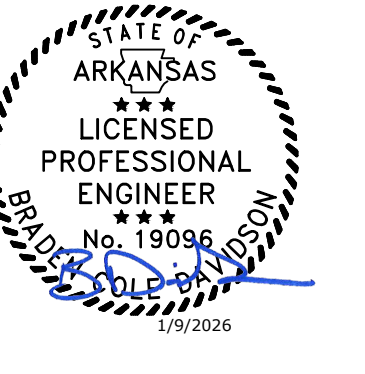
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SEAL:
NOT FOR
CONSTRUCTION FOR
REVIEW ONLY

JOB NUMBER
25015

REVISIONS
DATE DESCRIPTION

DAVIDSON
ENGINEERING



PROJECT TITLE
HARDING PLACE

801 Benton Ave,
Searcy, AR 72143

DRAWING NAME
SITE PLAN

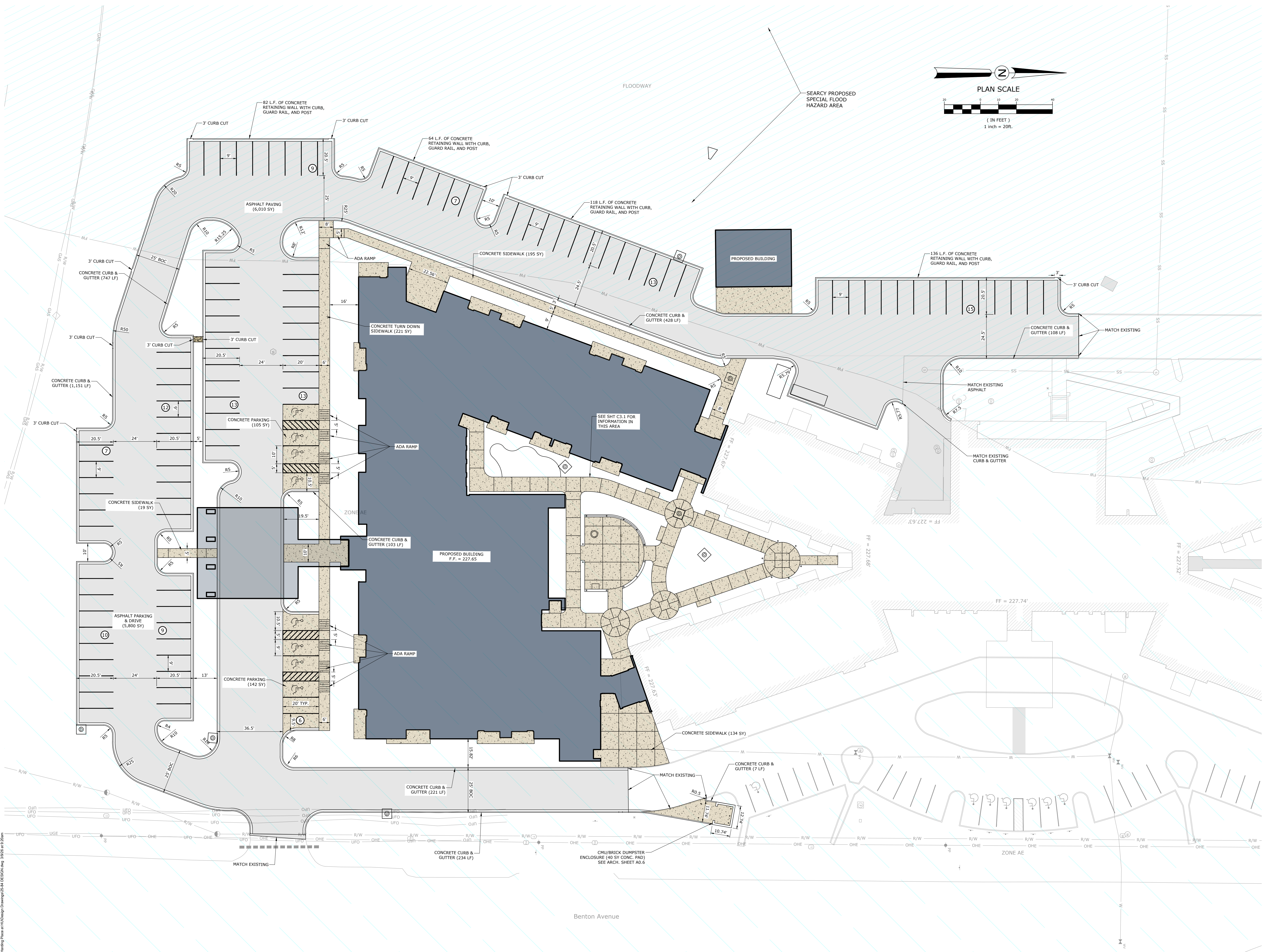
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DATE
9 JAN. 2026

PHASE
100% Design Development

DRAWING NUMBER
C3.0



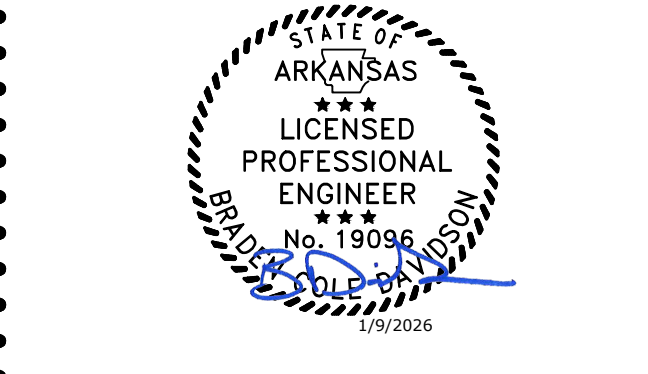
Z:\25-0025-04 - Harding Place at H&M Design\Drawings\25-04 DE DESIGN\25015.dwg 3/20/25 at 9:20am

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JOB NUMBER
25015

REVISIONS
DATE DESCRIPTION

DAVIDSON
ENGINEERING



PROJECT TITLE
HARDING PLACE

801 Benton Ave,
Searcy, AR 72143

DRAWING NAME
**COURTYARD
SITE PLAN**

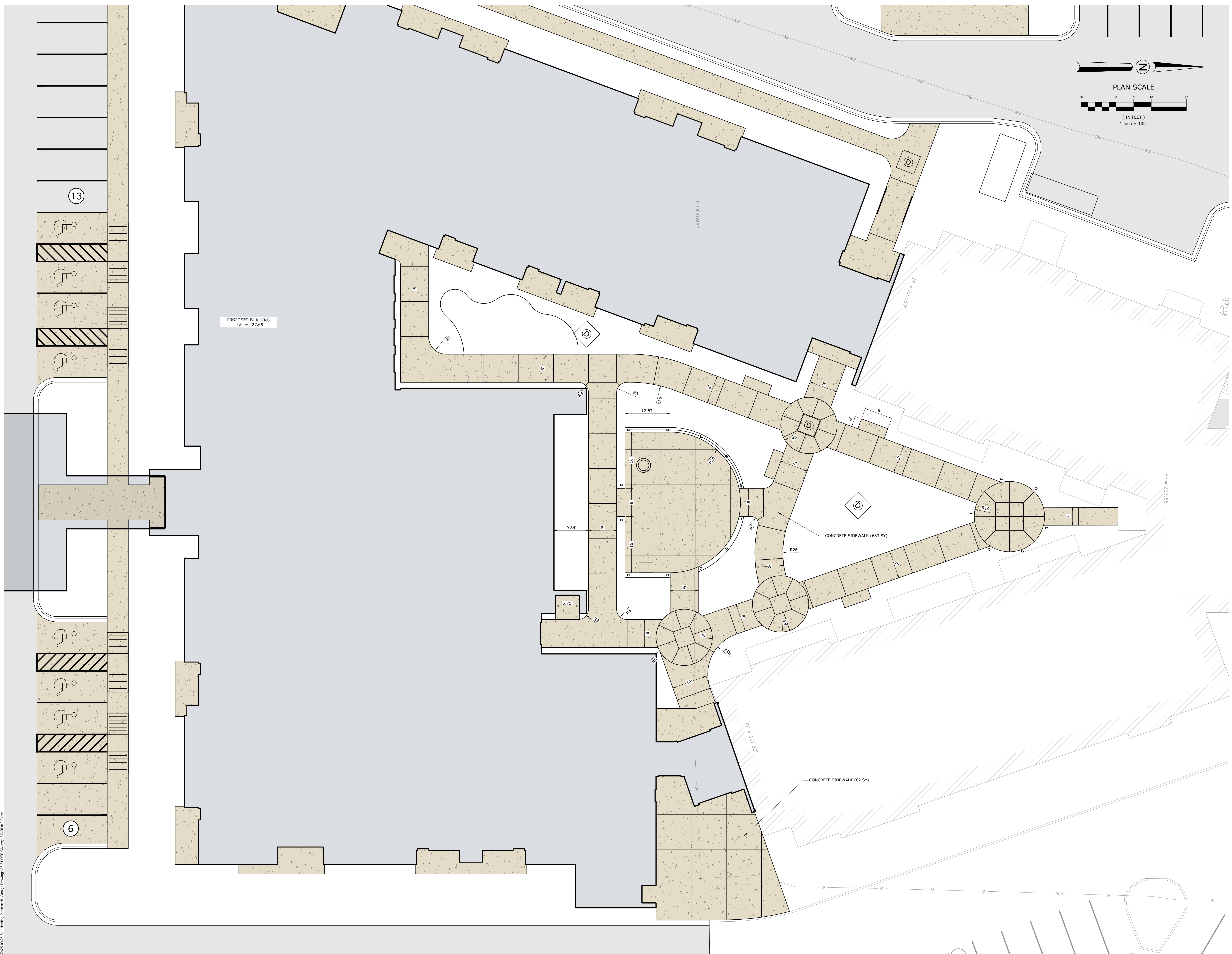
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PHASE

100% Design Development
DRAWING NUMBER

C3.1

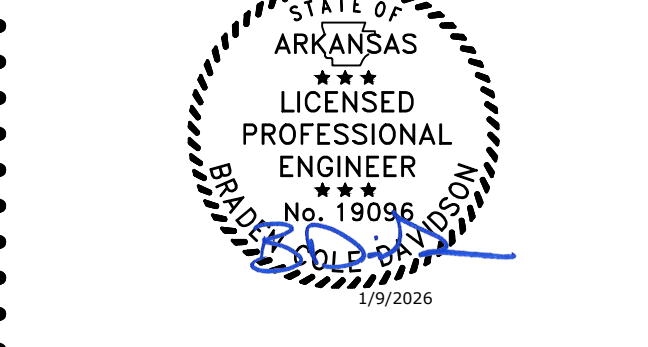


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25015

REVISIONS
DATE DESCRIPTION

DAVIDSON
ENGINEERING



PROJECT TITLE

HARDING PLACE

801 Benton Ave,
Searcy, AR 72143

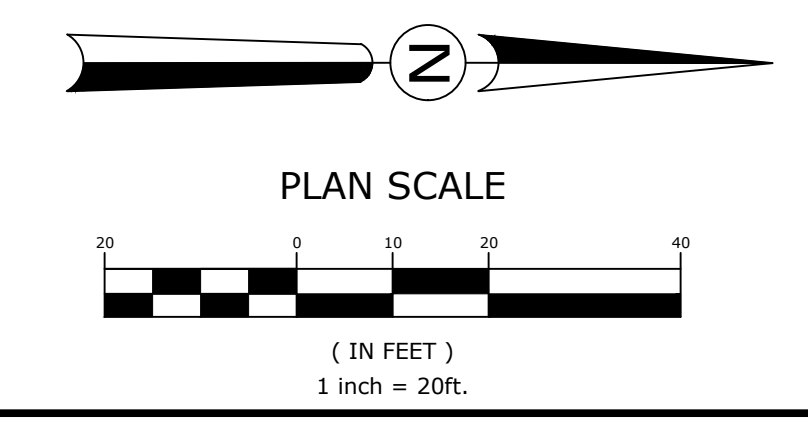
DRAWING NAME
**GRADING AND
DRAINAGE
OVERVIEW**

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DATE
9 JAN. 2026
PHASE

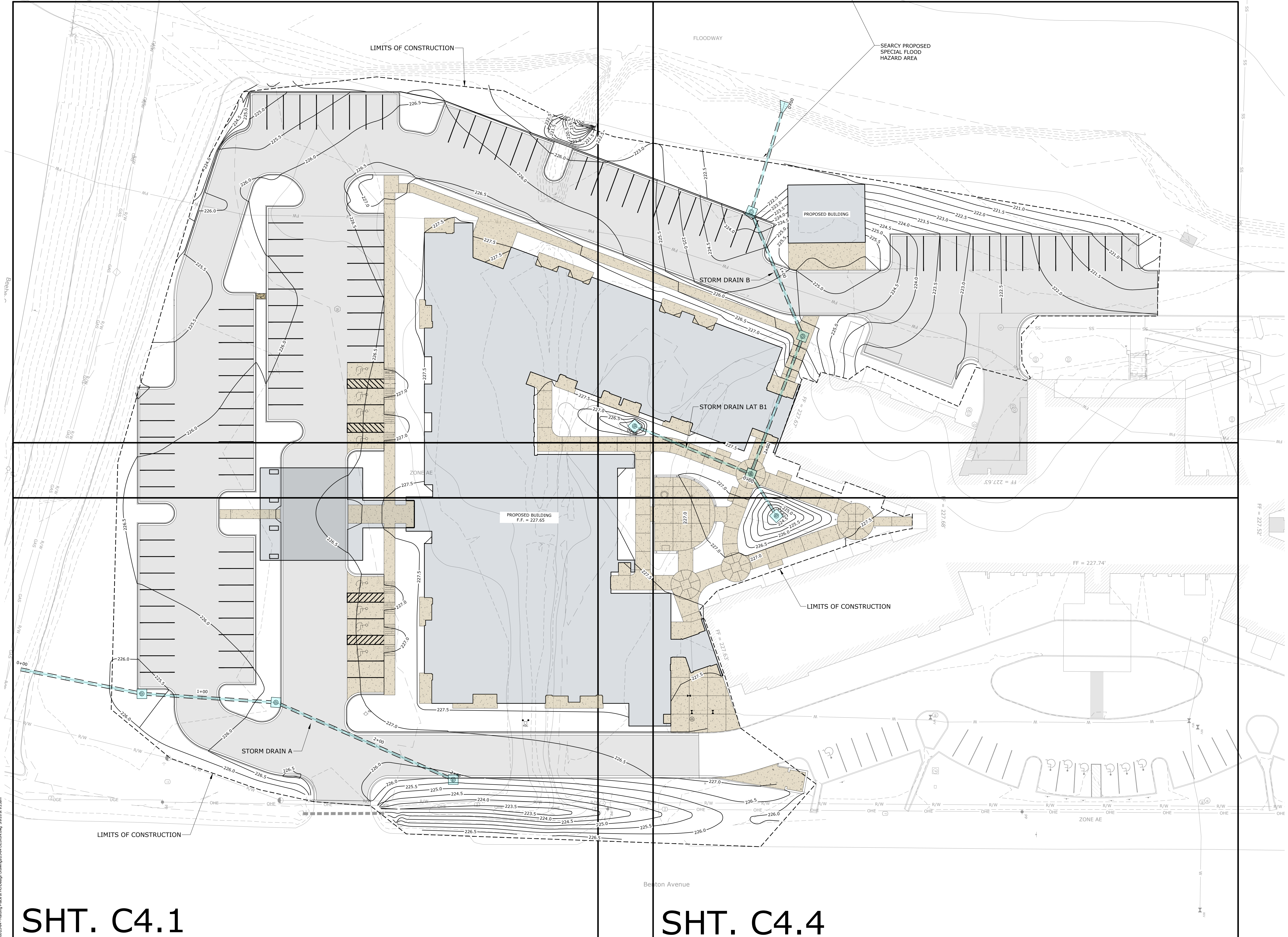
100% Design Development
DRAWING NUMBER

C4.0



SHT. C4.2

SHT. C4.3



SHT. C4.1

SHT. C4.4

Z:\25015\25015-Harding Place at HU Design\Drawings\25015-Harding Place.dwg 3/15/25 at 10:26am

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JOB NUMBER
25015

REVISIONS
DATE DESCRIPTION

DAVIDSON
ENGINEERING



PROJECT TITLE

HARDING PLACE

801 Benton Ave,
Searcy, AR 72143

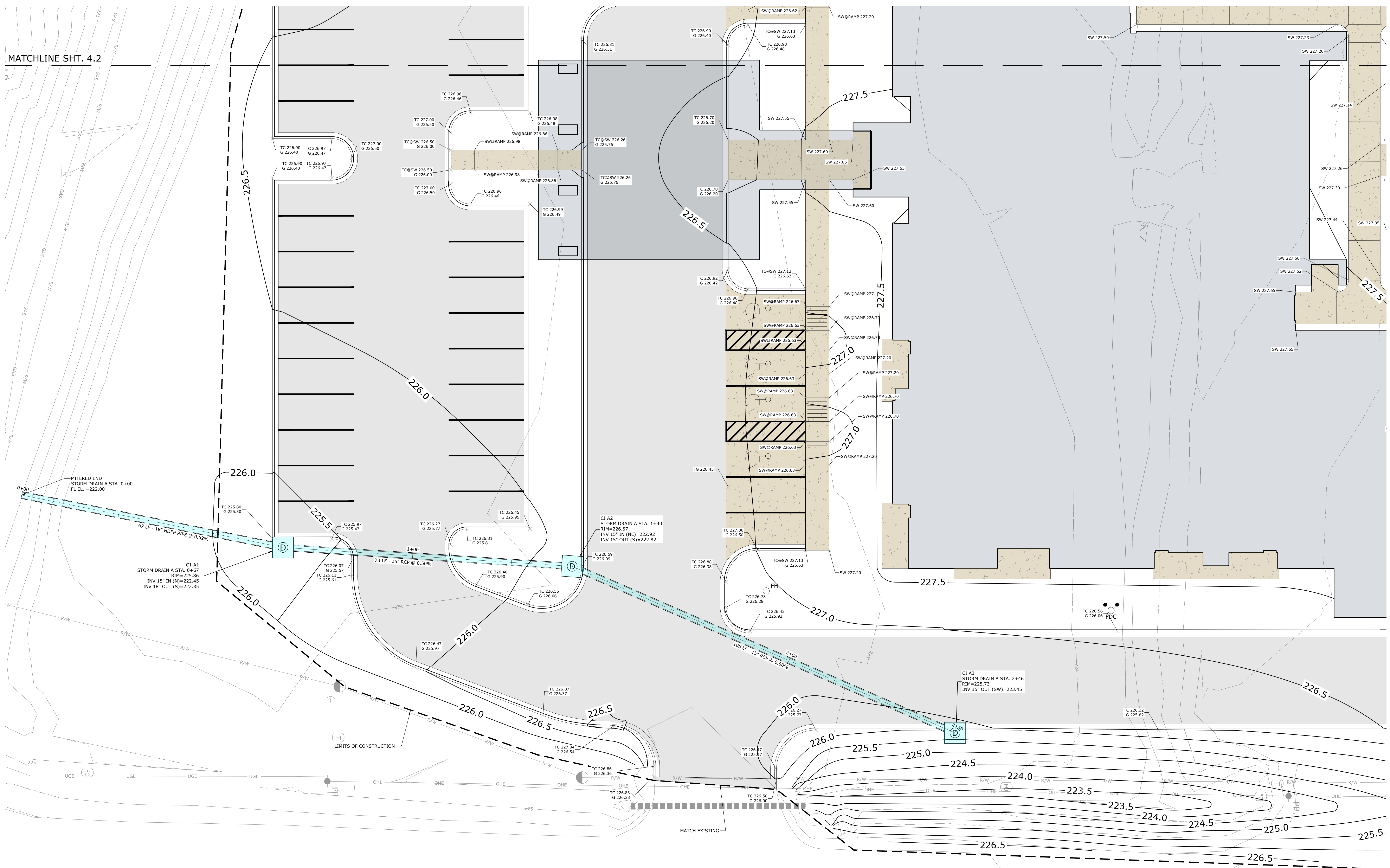
DRAWING NAME
**GRADING AND
DRAINAGE PLAN**

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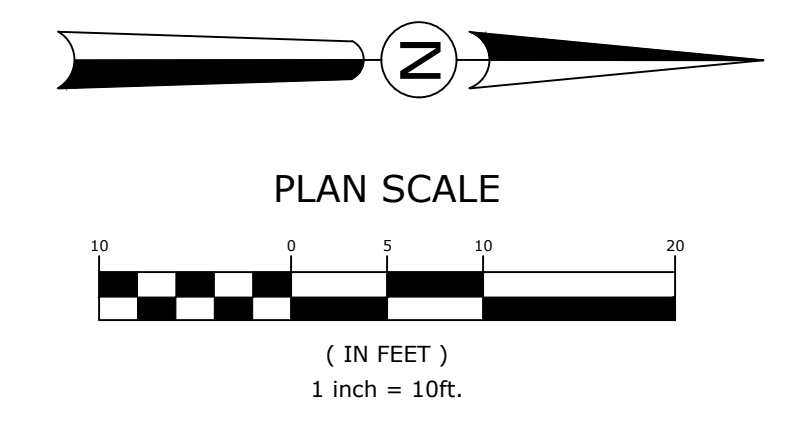
DATE
9 JAN. 2026
PHASE
100% Design Development
DRAWING NUMBER

C4.1



MATCHLINE SHT. 4.2

MATCHLINE SHT. C4.4

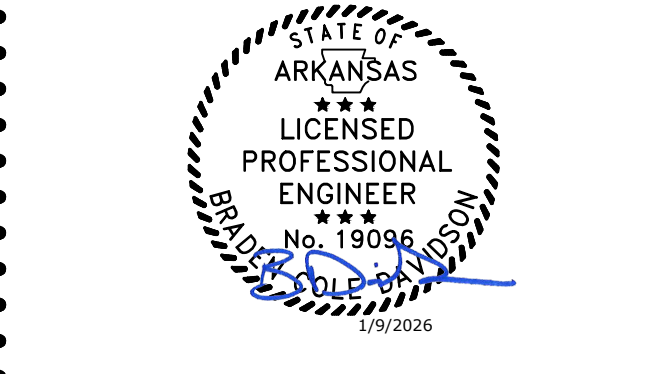


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JOB NUMBER
25015

REVISIONS
DATE DESCRIPTION

DAVIDSON
ENGINEERING



PROJECT TITLE

HARDING PLACE

801 Benton Ave,
Searcy, AR 72143

DRAWING NAME
**GRADING AND
DRAINAGE PLAN**

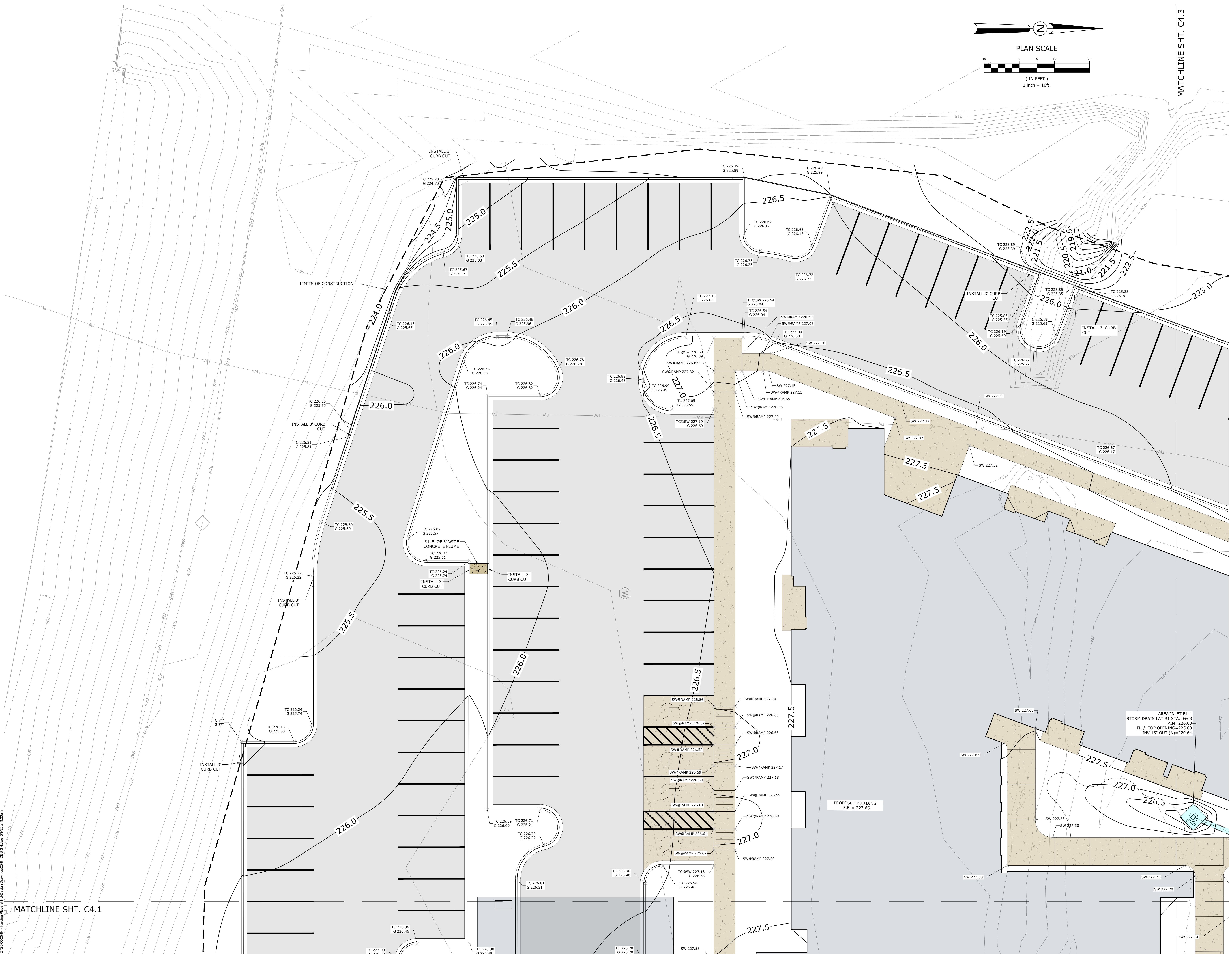
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DATE
9 JAN. 2026
PHASE

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DRAWING NUMBER

C4.2



Z:\2500025-84 - Harding Place at HD\Design\Drawings\25-84\DESIGN\DWG_30026 at 10:26am

MATCHLINE SHT. C4.1

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JOB NUMBER
25015

REVISIONS
DATE DESCRIPTION

DAVIDSON ENGINEERING
210 W. ARCHAVILLE, ST
SEARCY, AR 72143
TEL: 901.441.1111



PROJECT TITLE

HARDING PLACE

801 Benton Ave,
Searcy, AR 72143

DRAWING NAME
**GRADING AND
DRAINAGE PLAN**

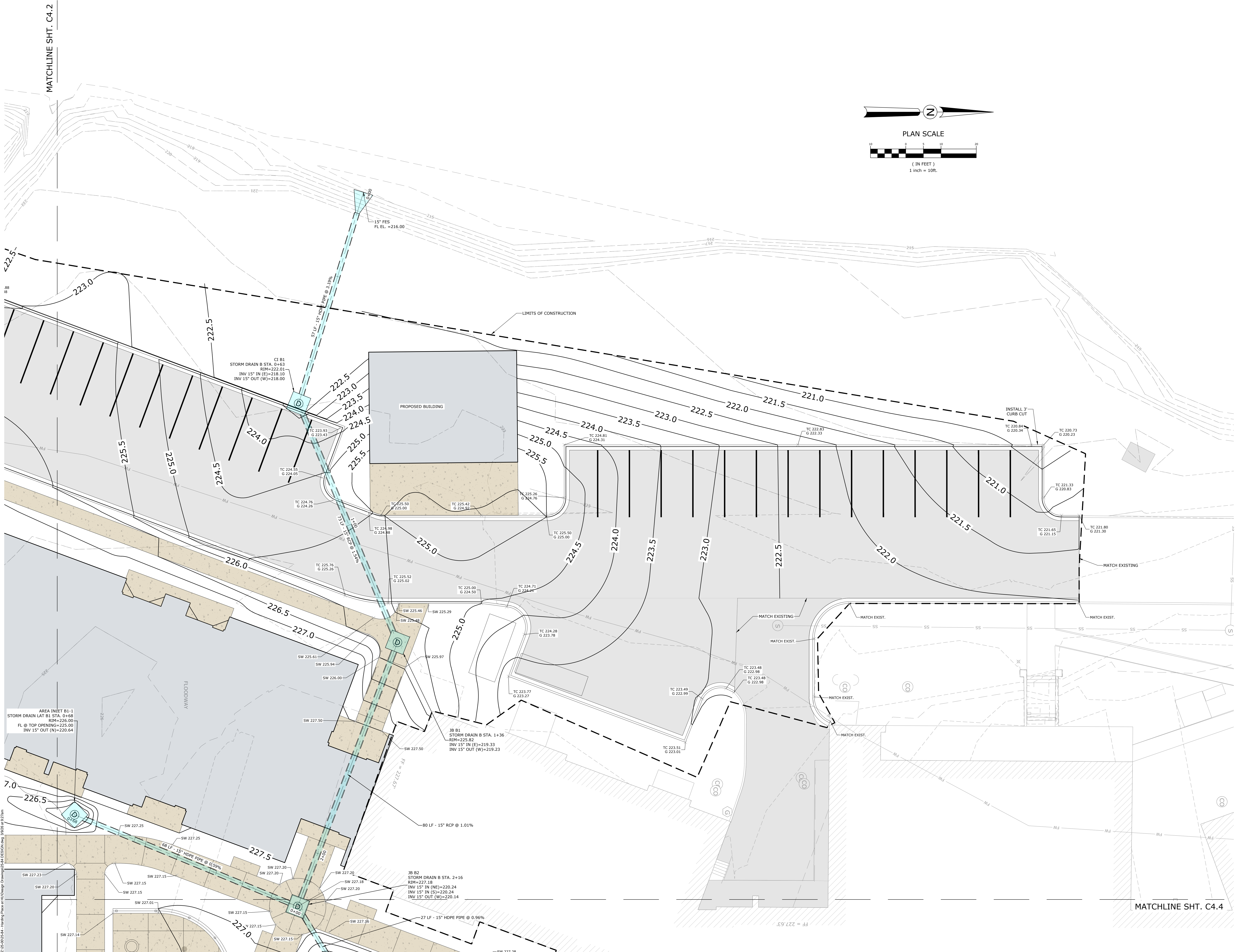
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9 JAN. 2026
PHASE

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DRAWING NUMBER

C4.3



MATCHLINE SHT. C4.2

MATCHLINE SHT. C4.4

2:05:00:54 - Harding Place at Hill Design by Davidson Engineering, 3/26/25, 10:27am

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JOB NUMBER
25015

REVISIONS
DATE DESCRIPTION

DAVIDSON ENGINEERING
210 W. ARCHAVE, 51
SEARCY, AR 72143
TEL. 501.644.1111



PROJECT TITLE

HARDING PLACE

801 Benton Ave,
Searcy, AR 72143

DRAWING NAME
GRADING AND DRAINAGE PLAN

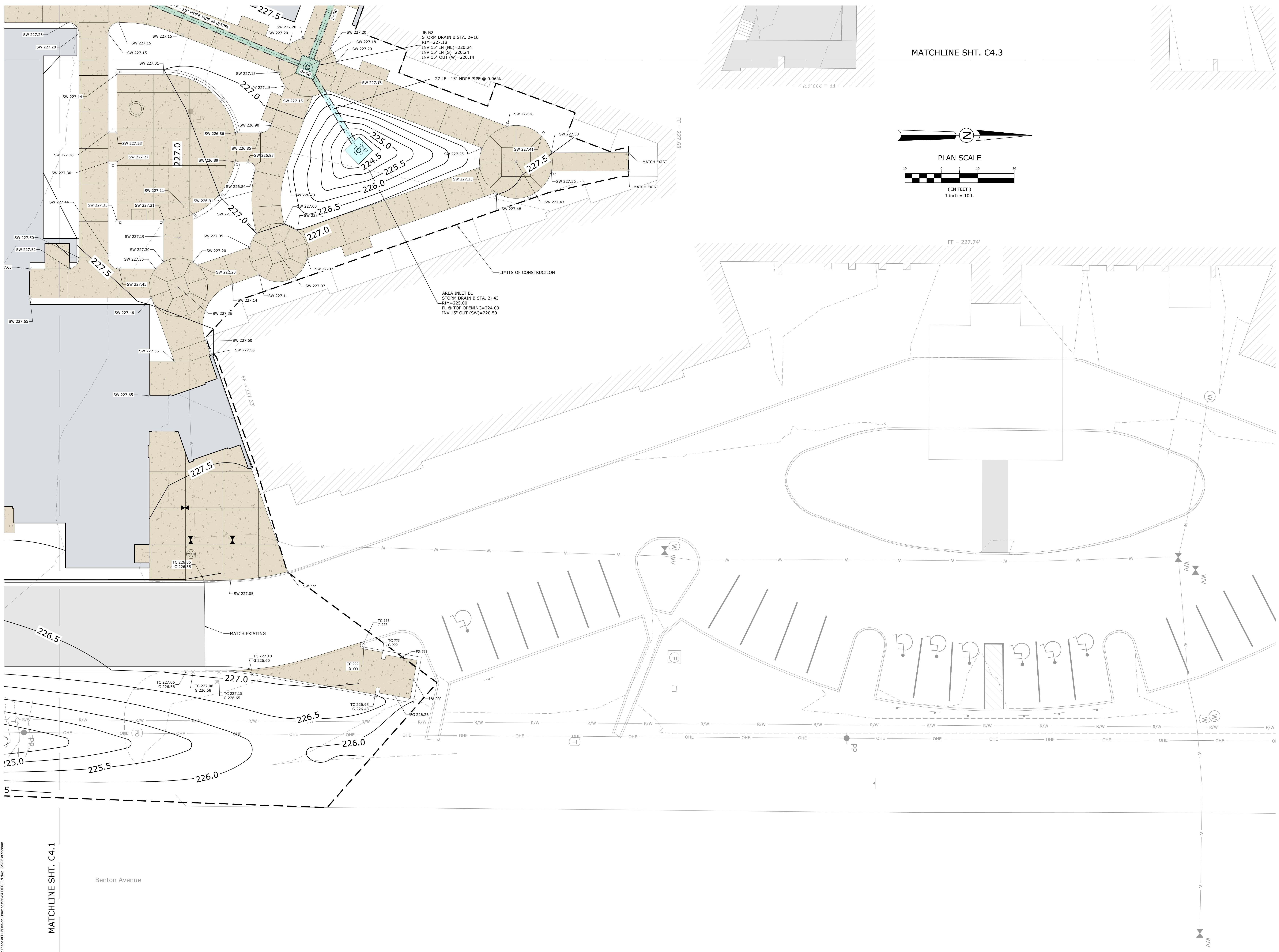
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PHASE

100% Design Development
DRAWING NUMBER

C4.4



Z:\25-0025-04 - Harding Place at Harding\Drawings\25-04-DESIGN\04.dwg 3/26/25 at 2:28pm
MATCHLINE SHT. C4.1

Benton Avenue

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JOB NUMBER
25015

REVISIONS
DATE DESCRIPTION



PROJECT TITLE

HARDING PLACE

801 Benton Ave,
Searcy, AR 72143

DRAWING NAME
**STORM DRAIN
PROFILES**

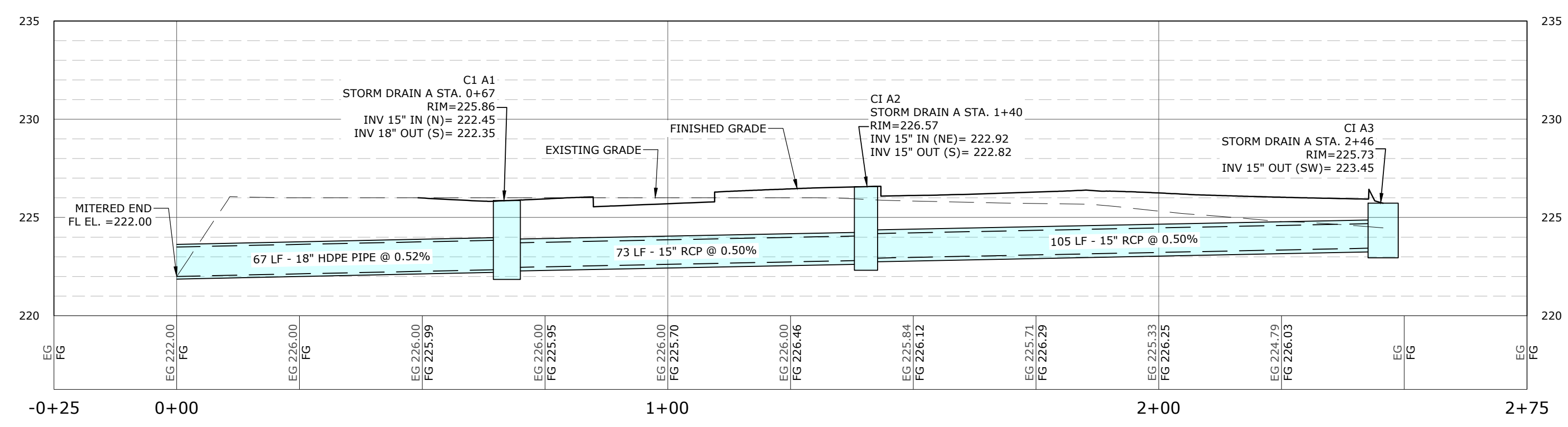
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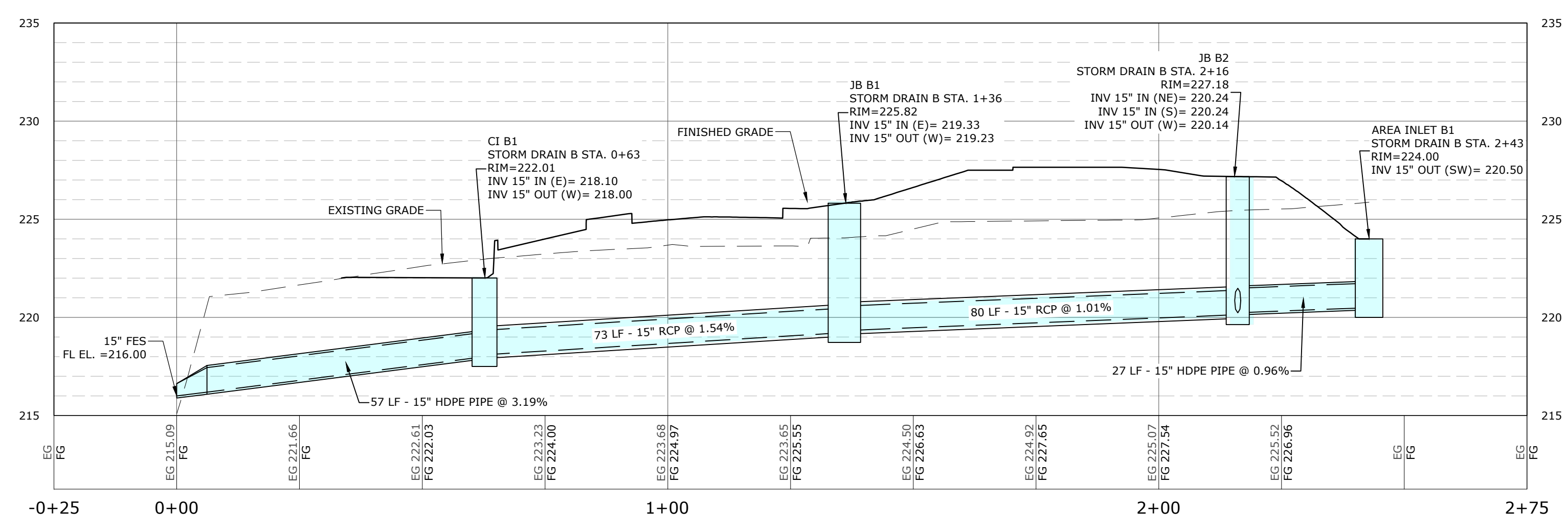
DATE
9 JAN. 2026
PHASE

100% Design Development
DRAWING NUMBER

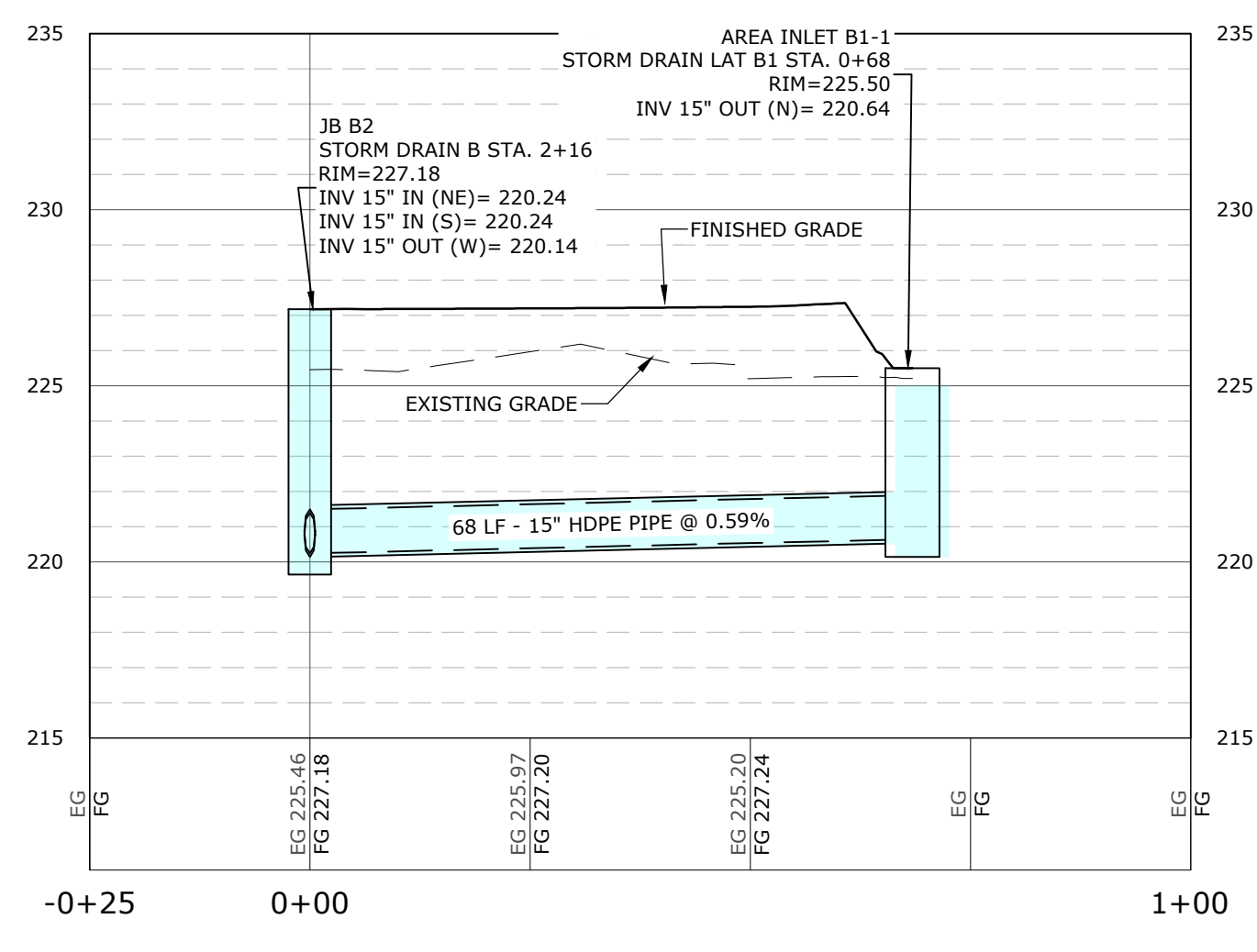
C4.5



STORM DRAIN A - PROFILE
SCALE:
1"=20' HORIZ.
1"=5' VERT.



STORM DRAIN B - PROFILE
SCALE:
1"=20' HORIZ.
1"=5' VERT.



STORM DRAIN LAT B1 - PROFILE
SCALE:
1"=20' HORIZ.
1"=5' VERT.

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REVIEW ONLY

JOB NUMBER
25015

REVISIONS
DATE DESCRIPTION

DAVIDSON
ENGINEERING DE



PROJECT TITLE
HARDING PLACE

801 Benton Ave,
Searcy, AR 72143

DRAWING NAME
**SITE UTILITY
PLAN**

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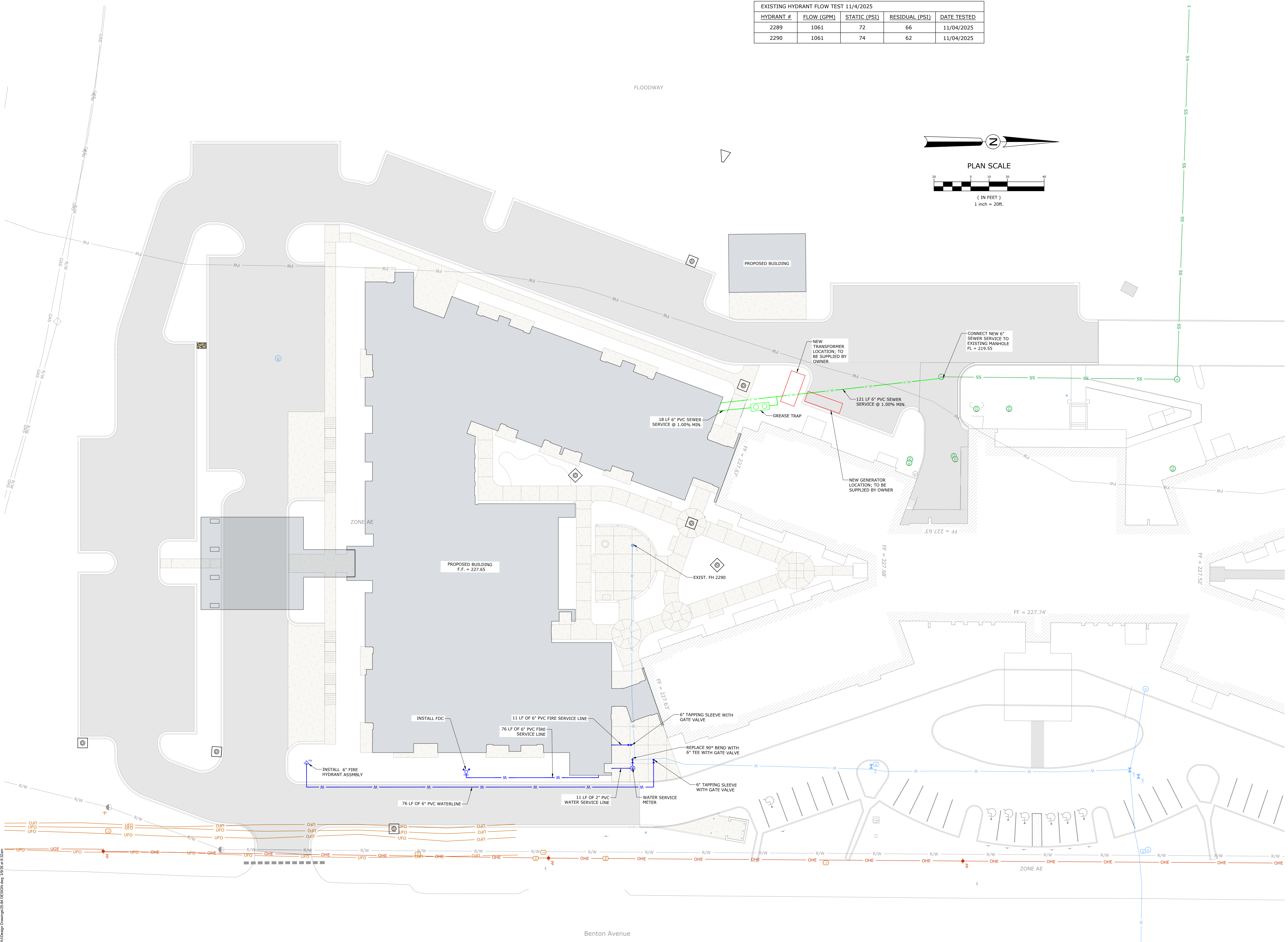
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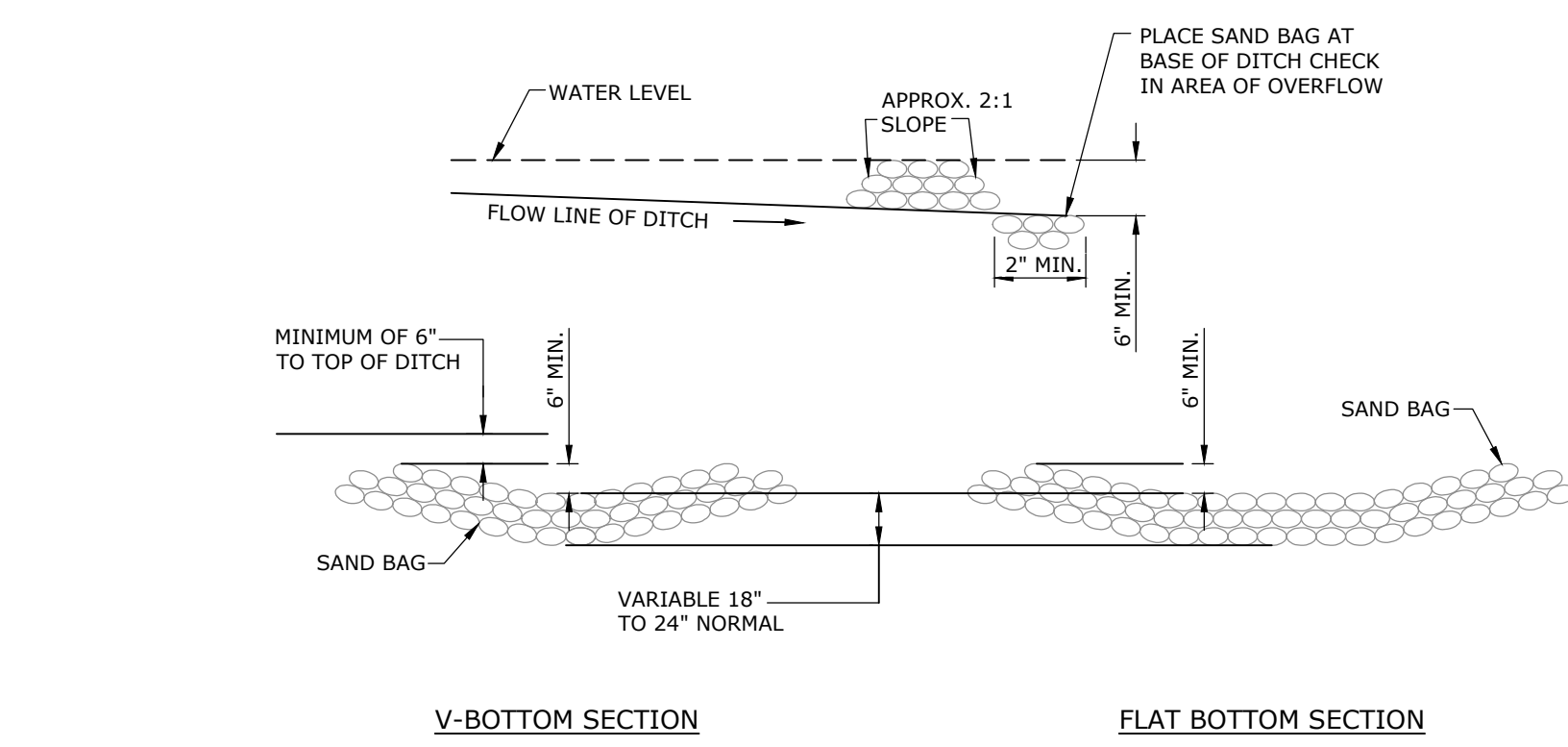
DATE
9 JAN. 2026

PHASE
100% Design Development

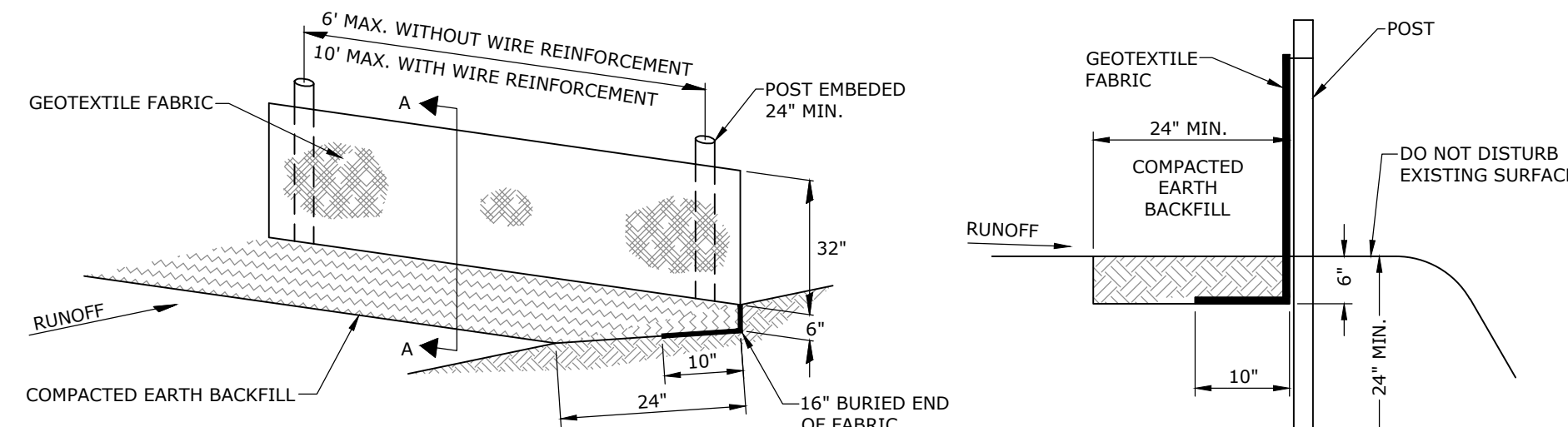
DRAWING NUMBER
C5.0

EXISTING HYDRANT FLOW TEST 11/4/2025				
HYDRANT #	FLOW (GPM)	STATIC (PSI)	RESIDUAL (PSI)	DATE TESTED
2289	1061	72	66	11/04/2025
2290	1061	74	62	11/04/2025



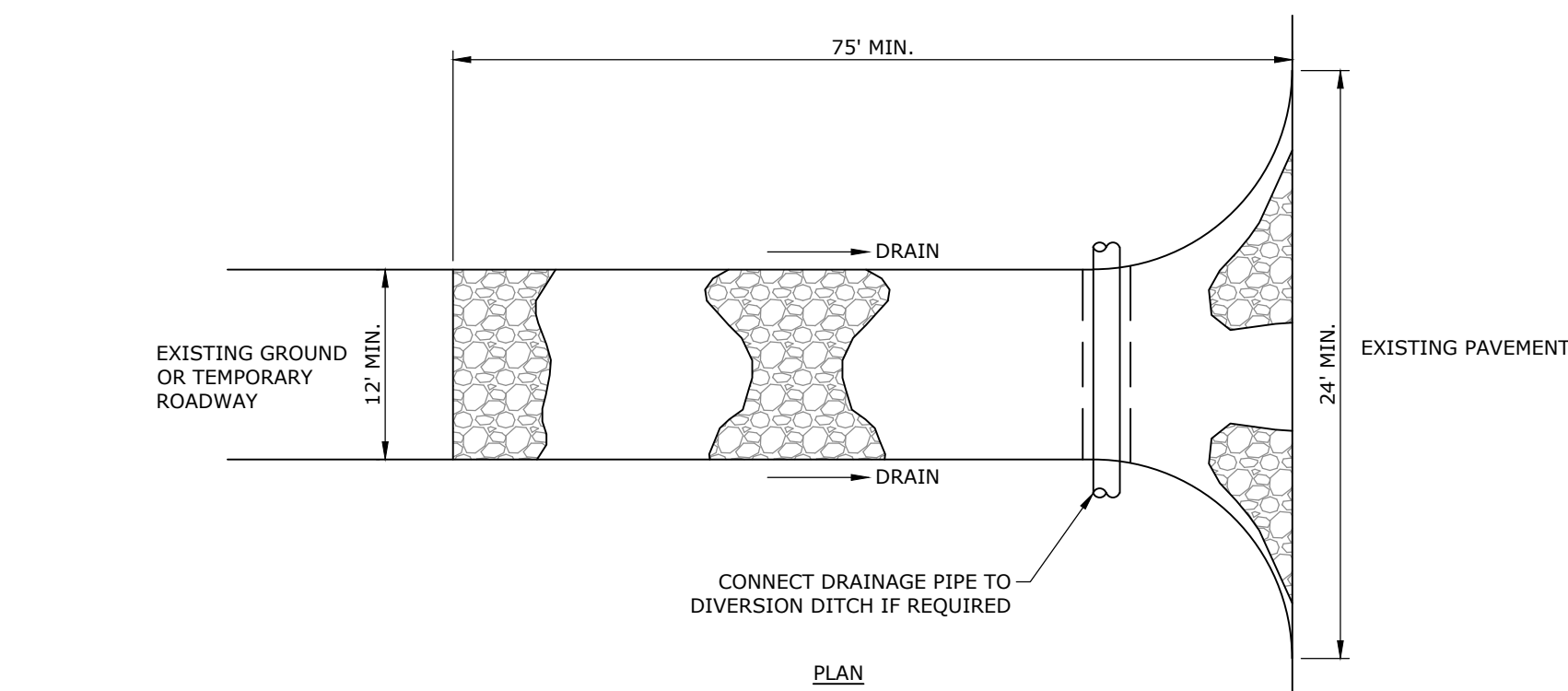


SAND BAG DITCH CHECK
N.T.S.

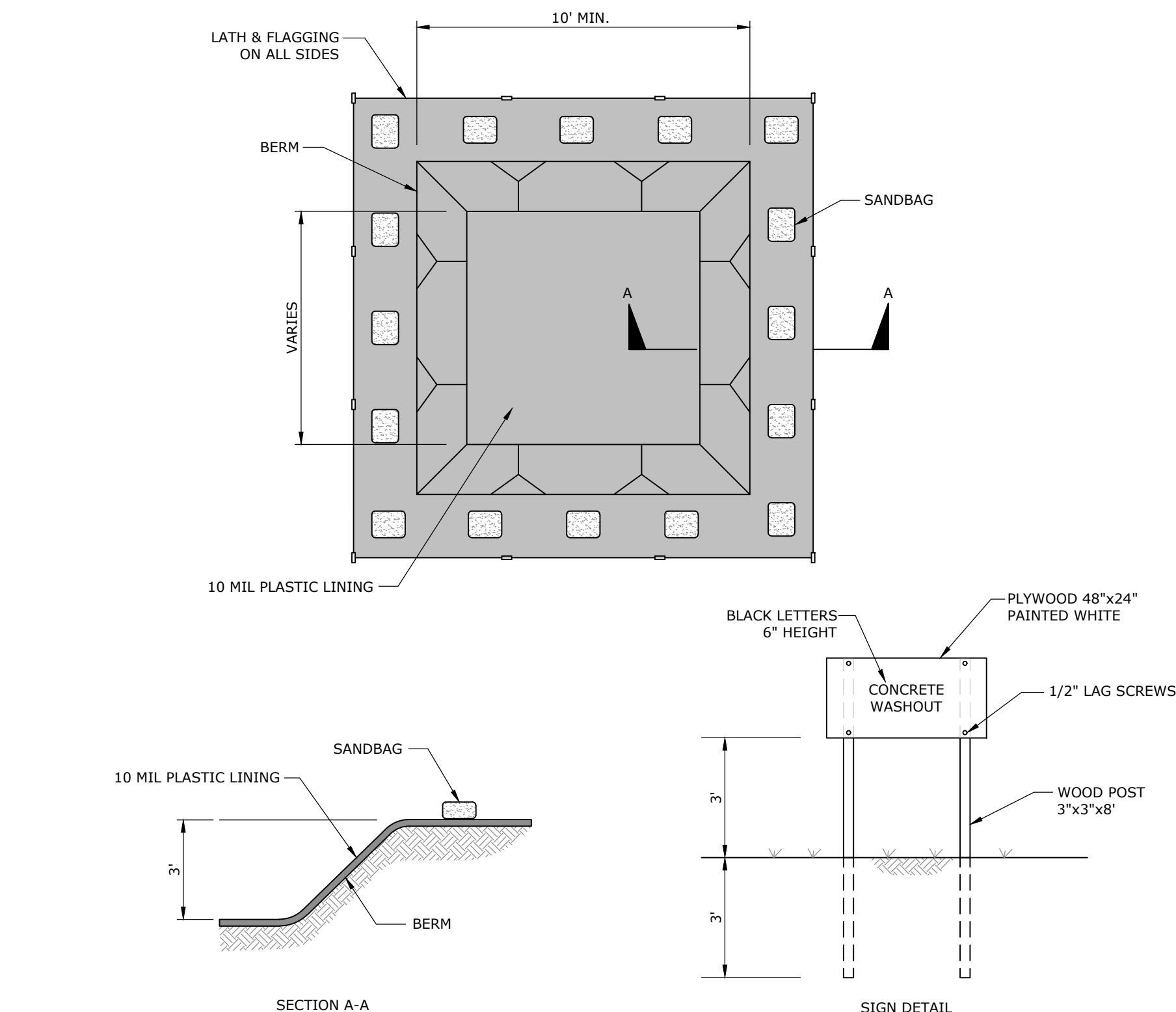


SILT FENCE
N.T.S.

SECTION A-A
N.T.S.

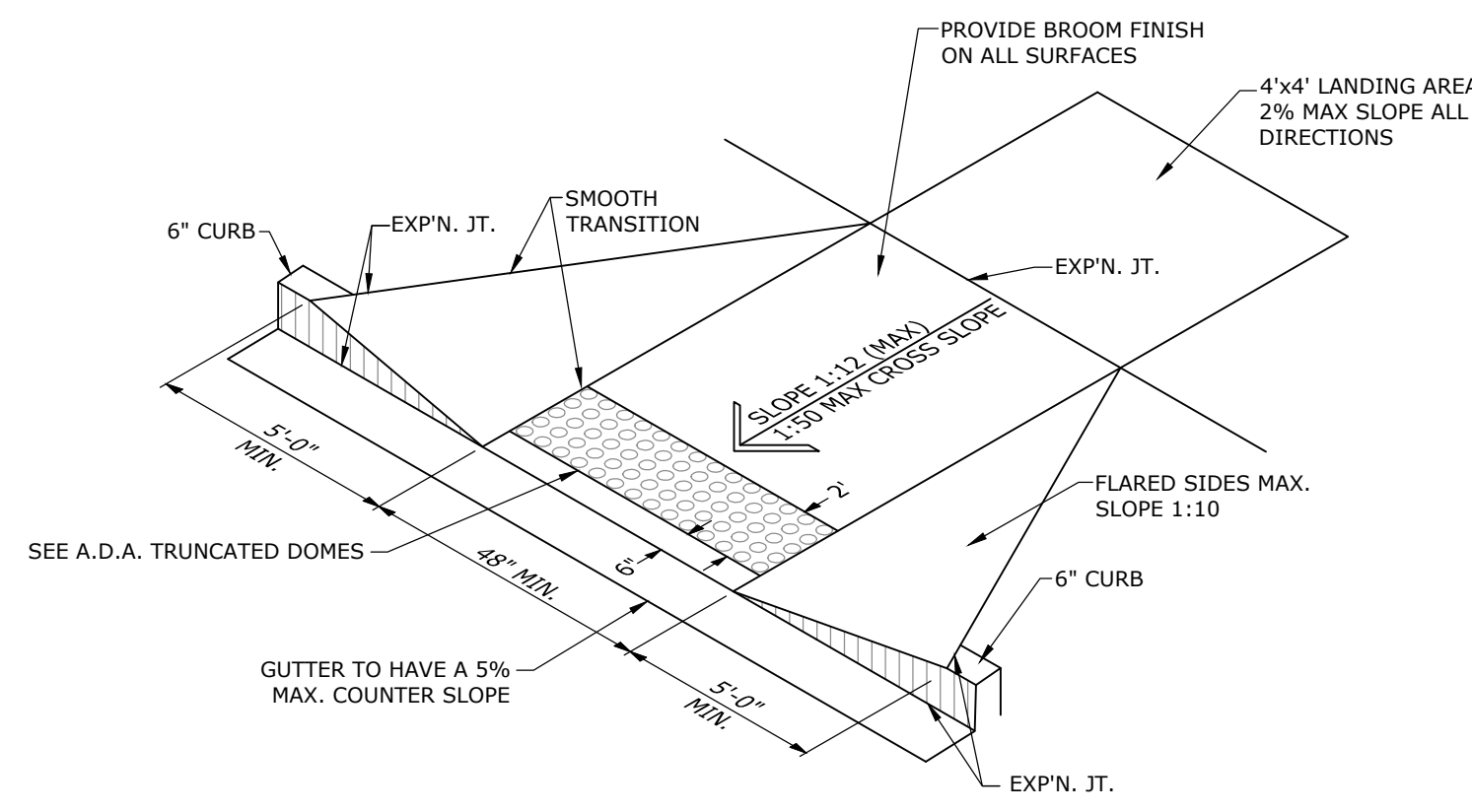


STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

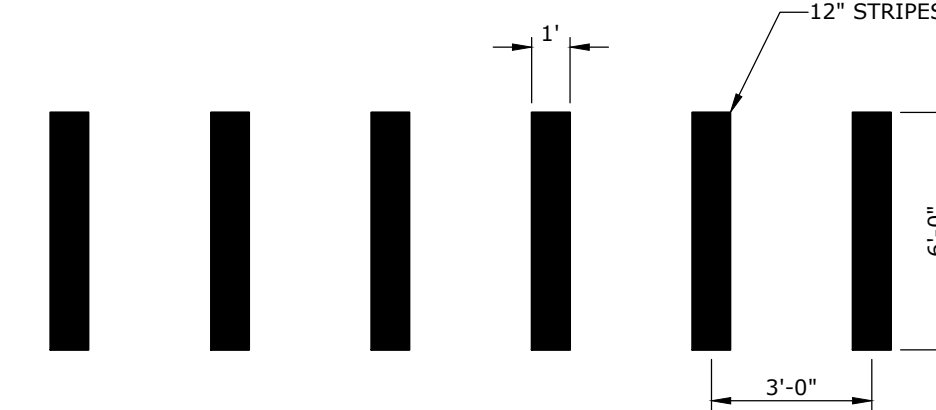


CONCRETE WASHOUT
N.T.S.

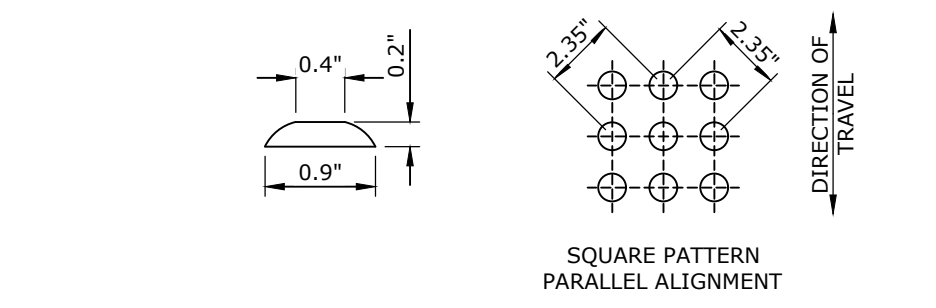
- NOTES:
- NO WASHING OUT OF CONCRETE TRUCKS OR WASHING OF SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS IS ALLOWED.
 - EXCESS CONCRETE IS NOT ALLOWED TO BE DUMPED ON-SITE, EXCEPT IN DESIGNATED TEMPORARY CONCRETE WASHOUT PIT AREAS.
 - ON-SITE TEMPORARY CONCRETE WASHOUT AREAS WILL BE LOCATED AT LEAST 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES AS DETERMINED IN THE FIELD.
 - THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
 - TEMPORARY CONCRETE WASHOUT FACILITIES WILL BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
 - WASHOUT FACILITIES WILL BE CLEANED OUT ONCE THE WASHOUT IS 75% FULL.
 - PLASTIC LINING MATERIAL WILL BE MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND WILL BE FREE OF HOLES, TEARS, OR OTHER DEFECTS.
 - WHEN WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR WORK, THE HARDENED CONCRETE WILL BE REMOVED AND DISPOSED OF. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES WILL BE REMOVED FROM THE SITE AND DISPOSED OF.



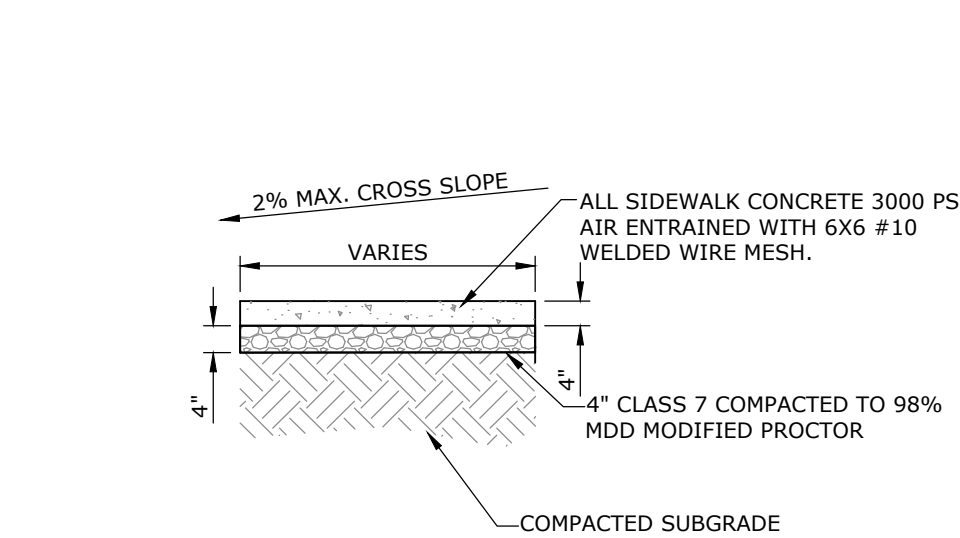
A.D.A. PERPENDICULAR CURB RAMP
WITH FLARED SIDES
N.T.S.



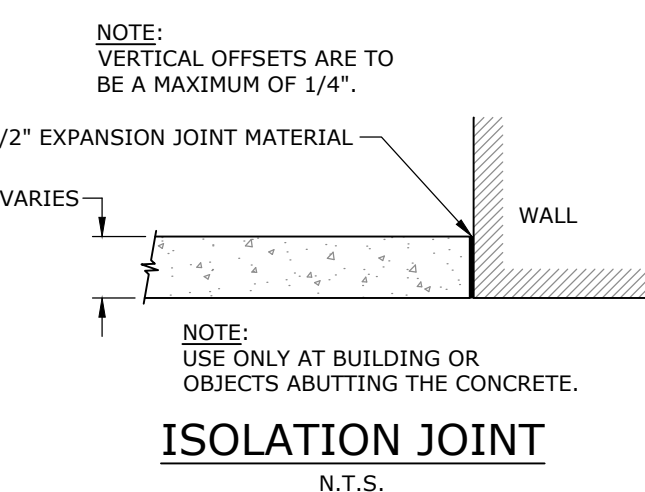
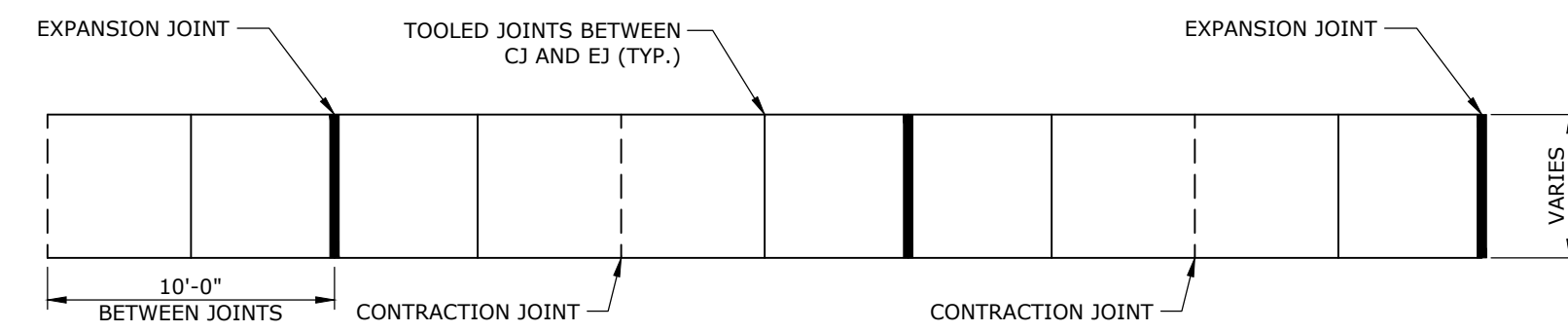
CROSSWALK STRIPING DETAIL (TYP.)
N.T.S.



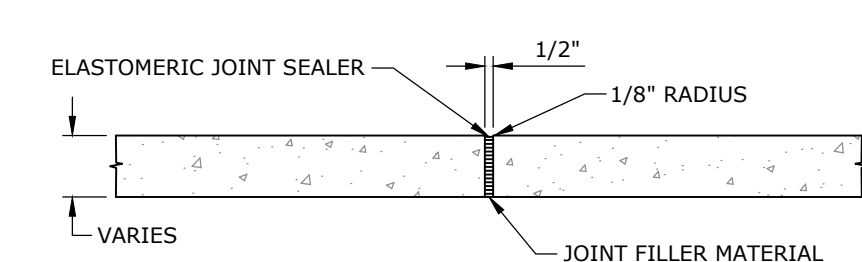
A.D.A. TRUNCATED DOMES
N.T.S.



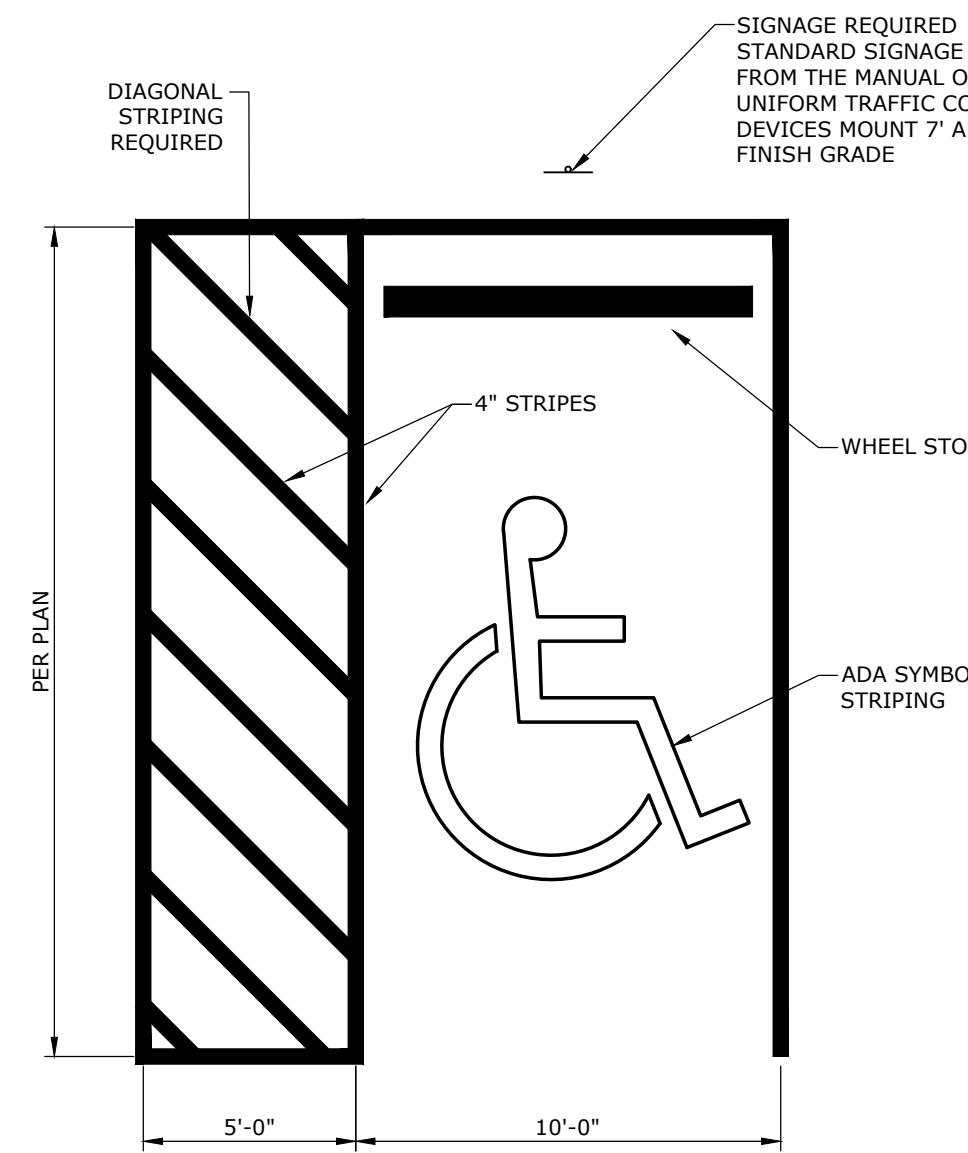
SIDEWALK DETAIL
N.T.S.



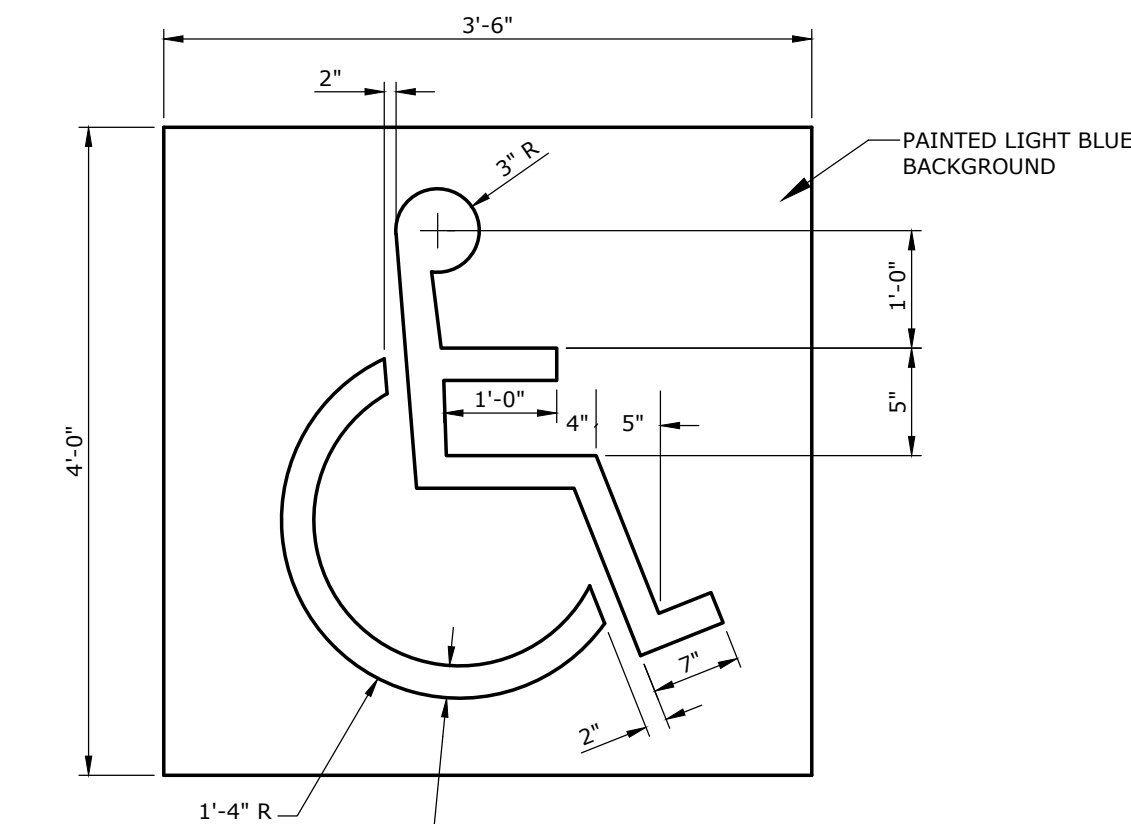
TYPICAL CONTRACTION JOINT
N.T.S.



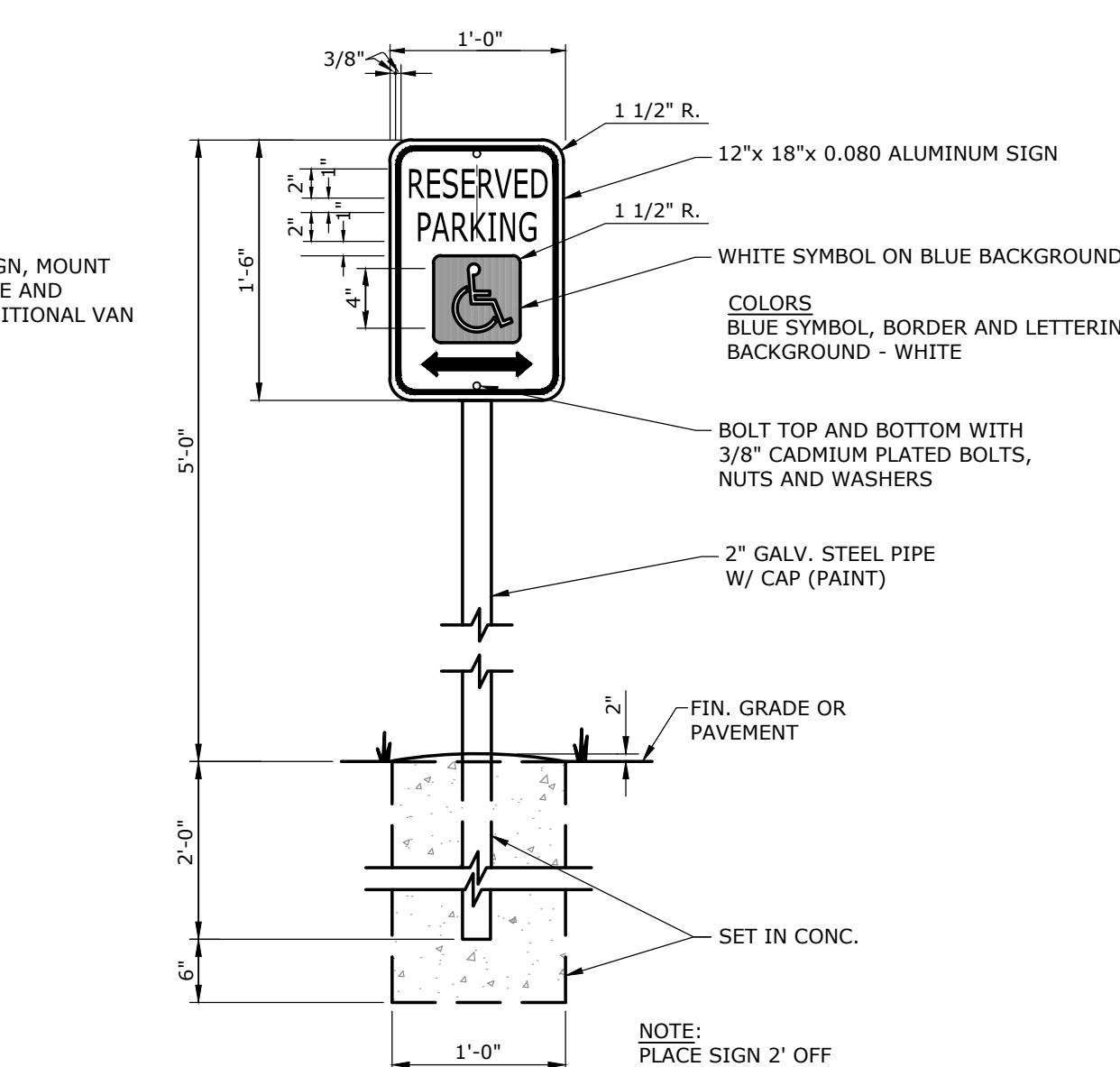
EXPANSION JOINT (EJ)
N.T.S.



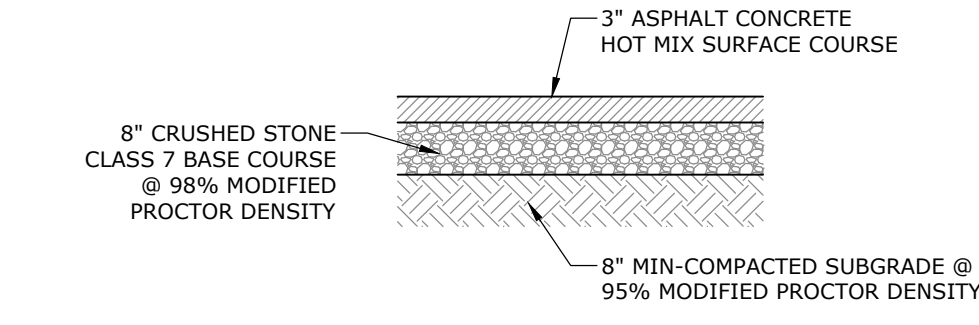
ADA PARKING LAYOUT
N.T.S.



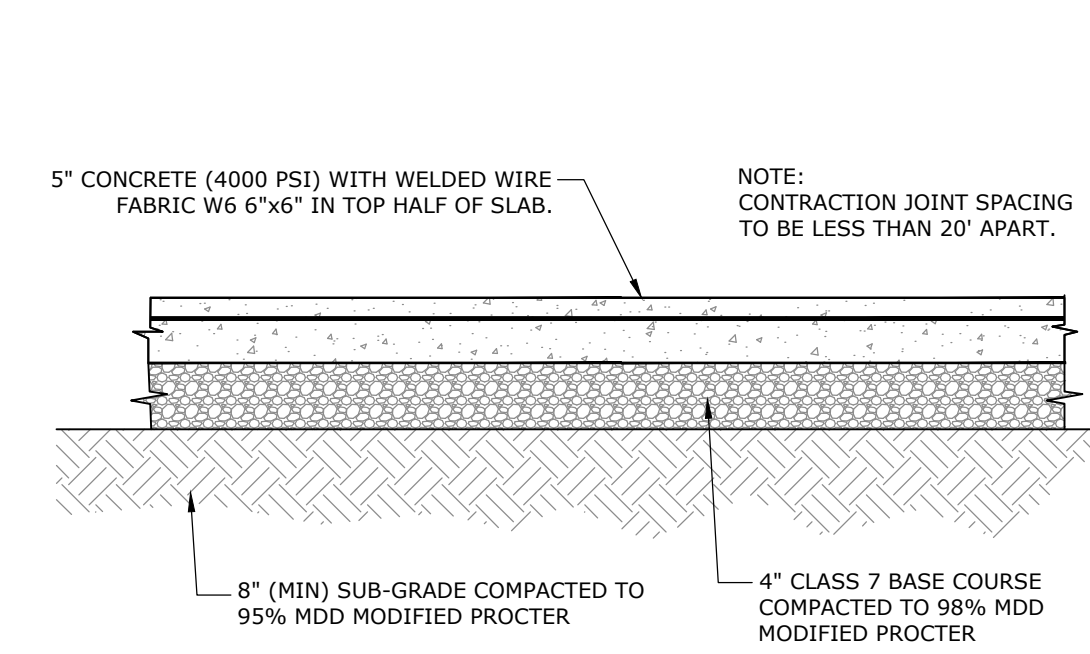
ADA PARKING STALL SYMBOL
N.T.S.



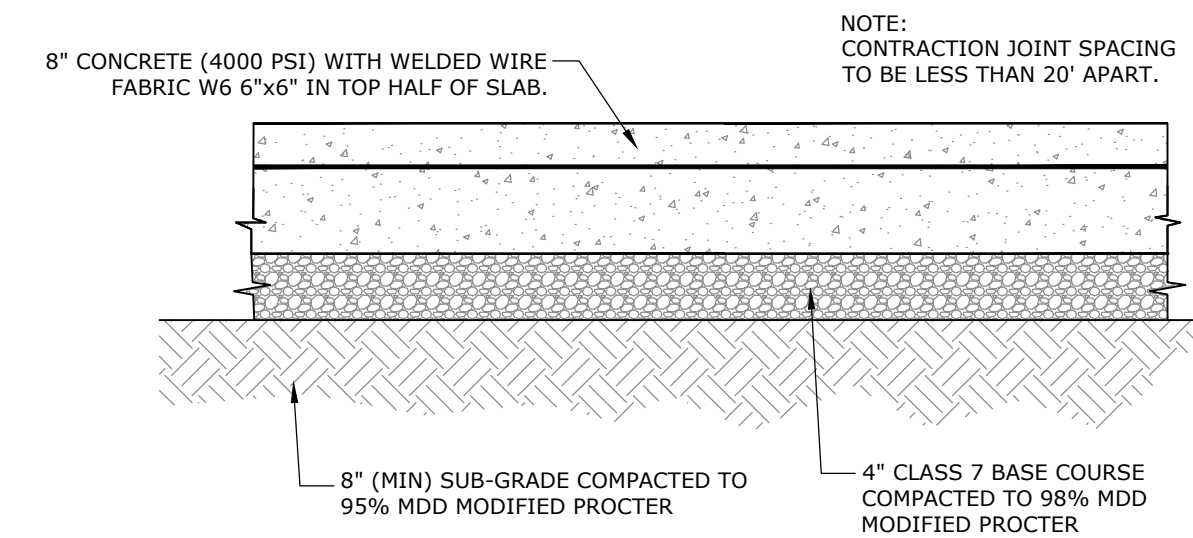
ADA SIGN DETAIL
N.T.S.



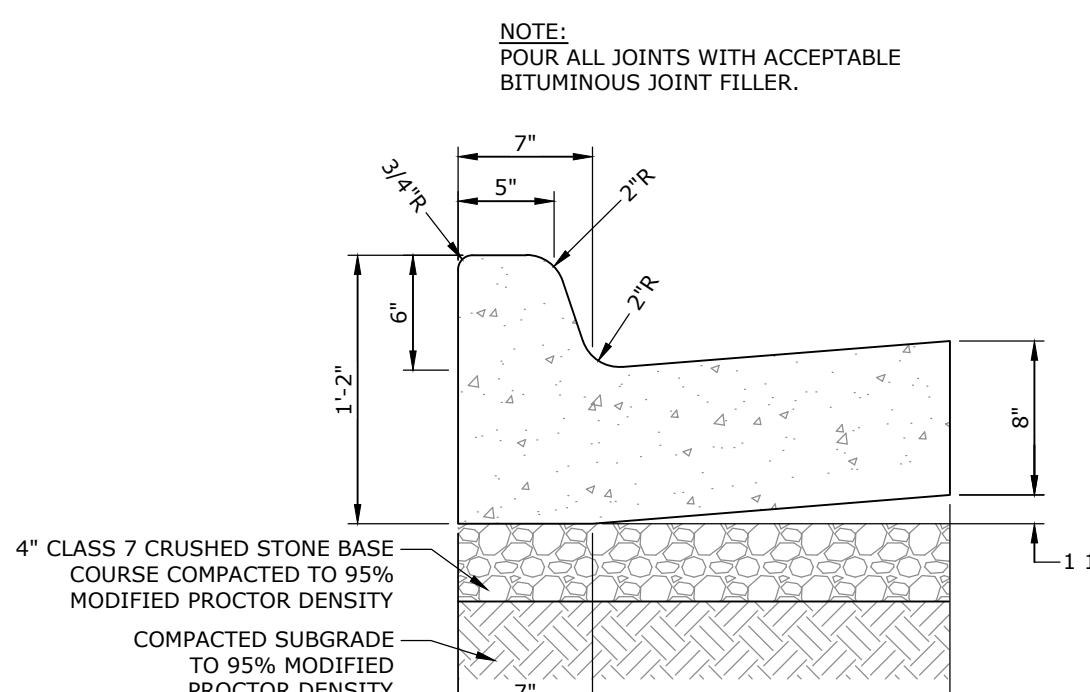
MEDIUM DUTY ASPHALT SECTION
N.T.S.



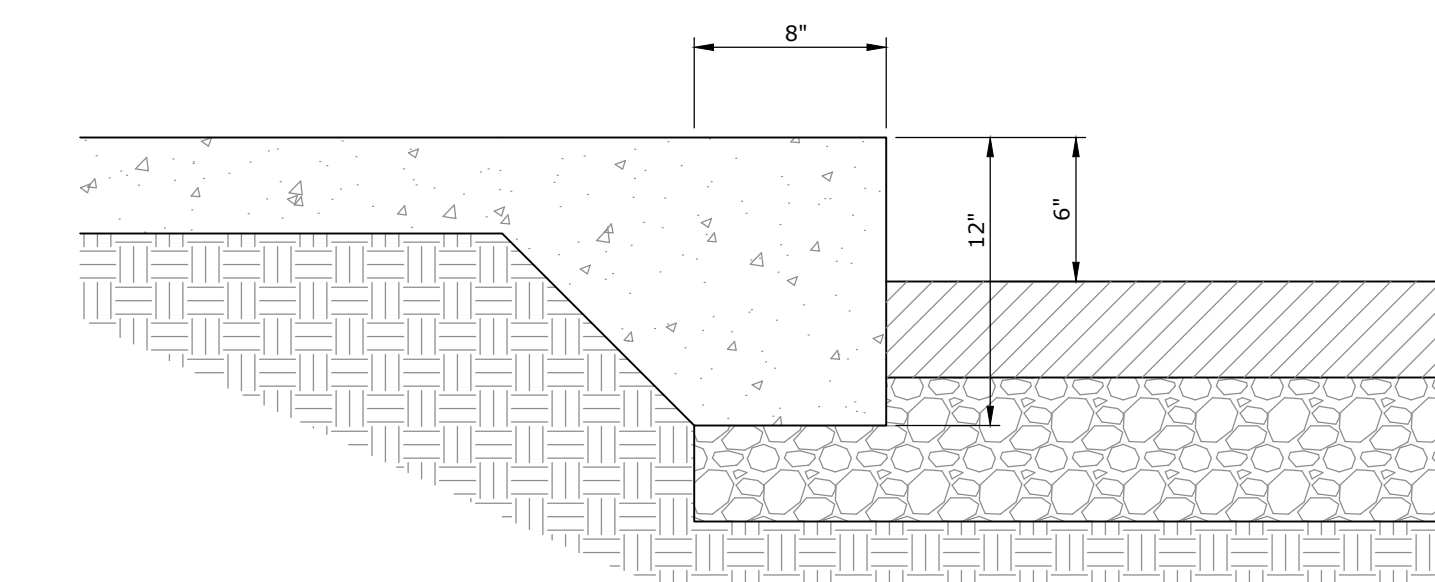
LIGHT-DUTY CONCRETE PAVING
N.T.S.



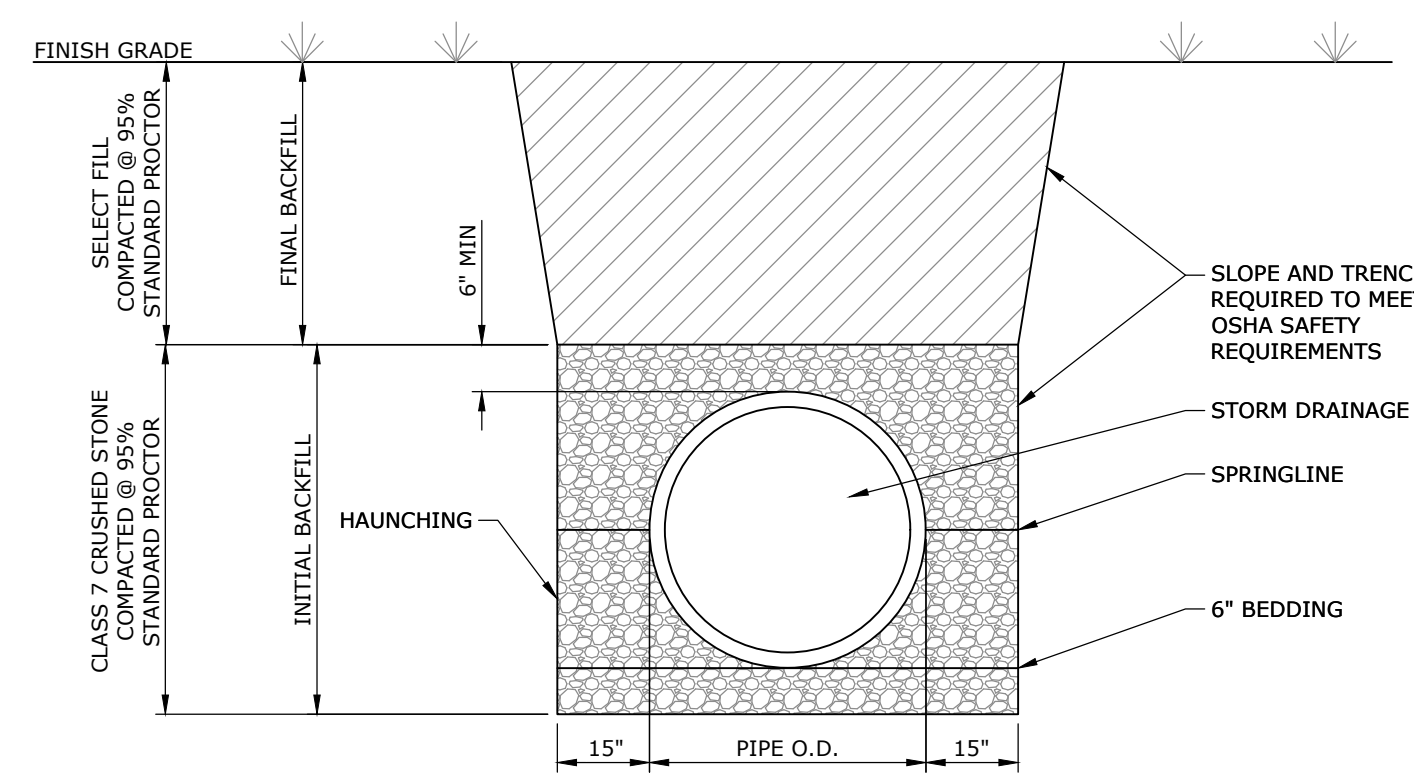
HEAVY-DUTY CONCRETE PAVING
N.T.S.



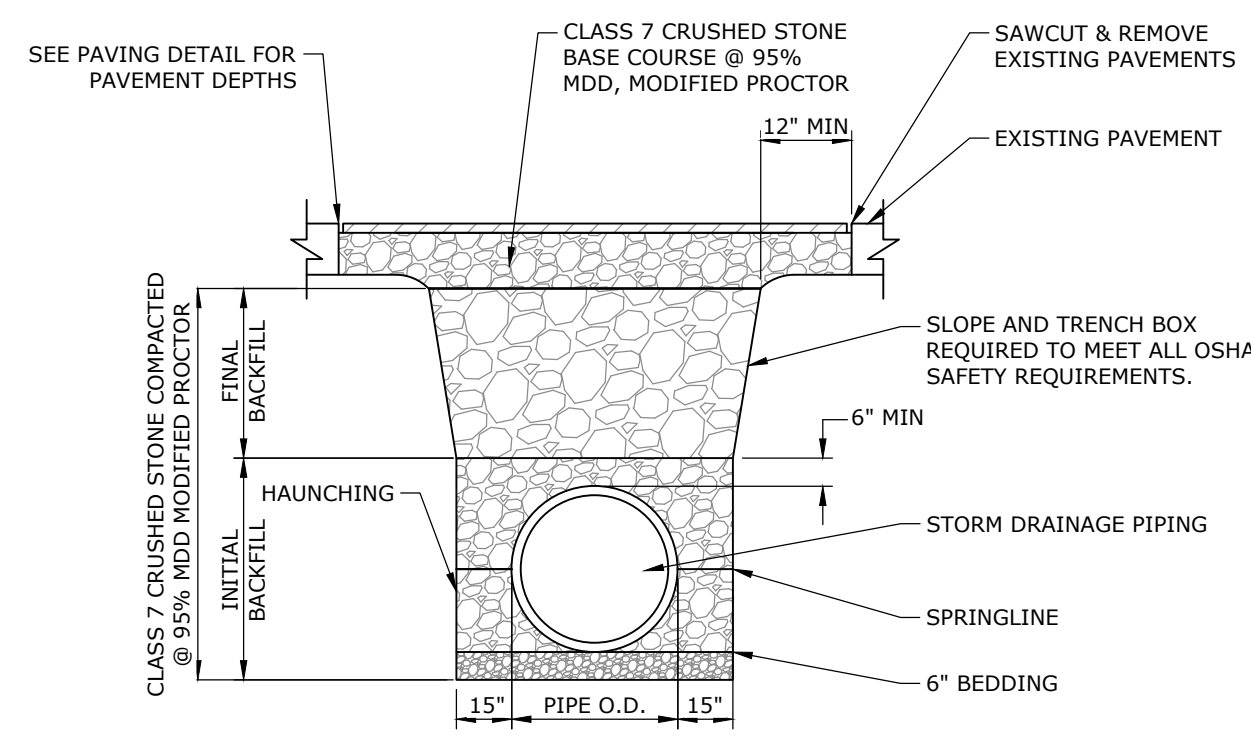
CLASS 1 UPRIGHT
TYPICAL SECTION CONCRETE
CURB & GUTTER
N.T.S.



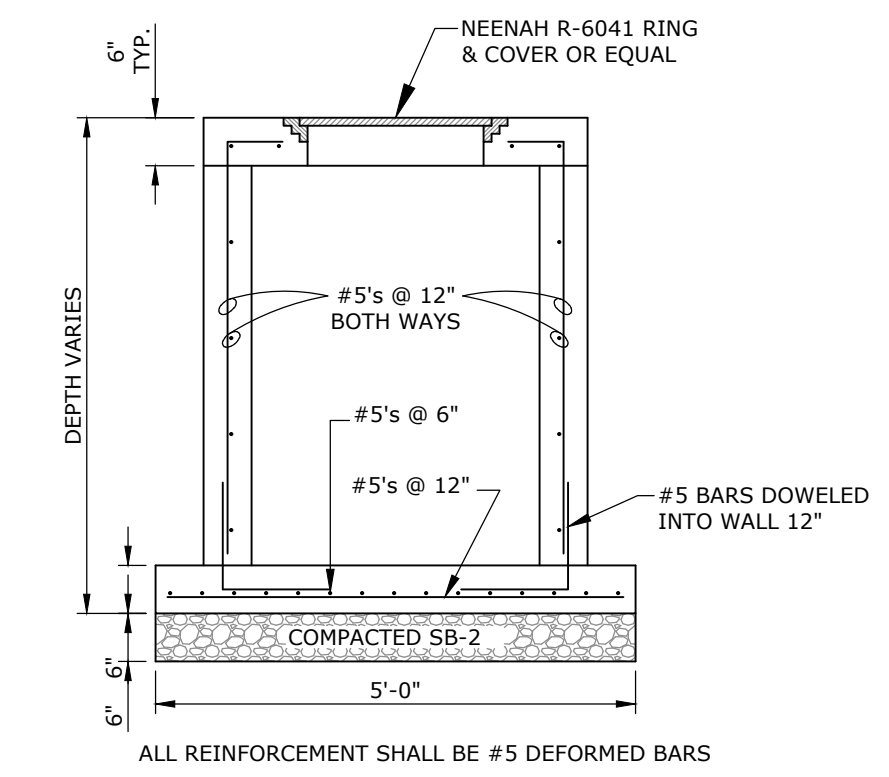
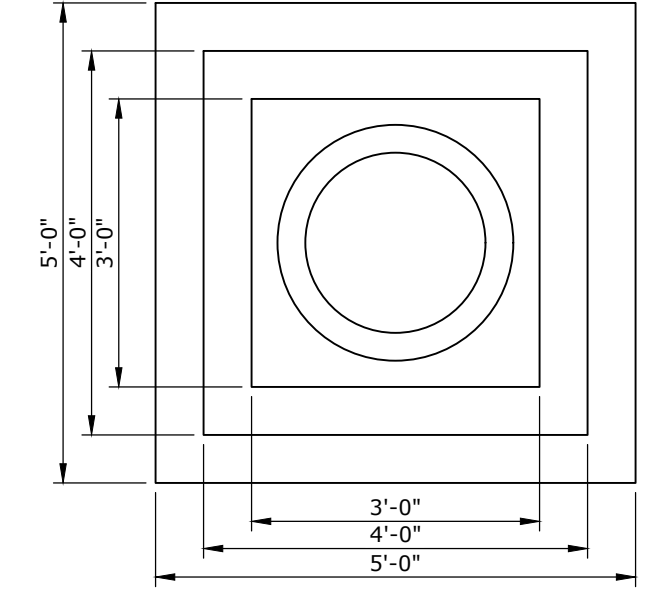
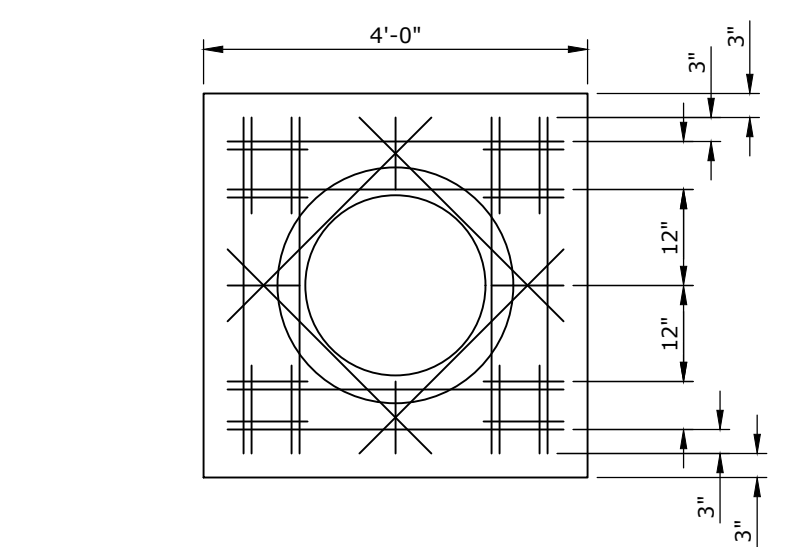
TURNED DOWN SIDEWALK
TYPICAL SECTION
N.T.S.



STORM DRAINAGE TRENCH DETAIL
N.T.S.



STORM DRAINAGE TRENCH DETAIL
(UNDER PAVING OR SLAB)
N.T.S.



JUNCTION BOX DETAILS
N.T.S.

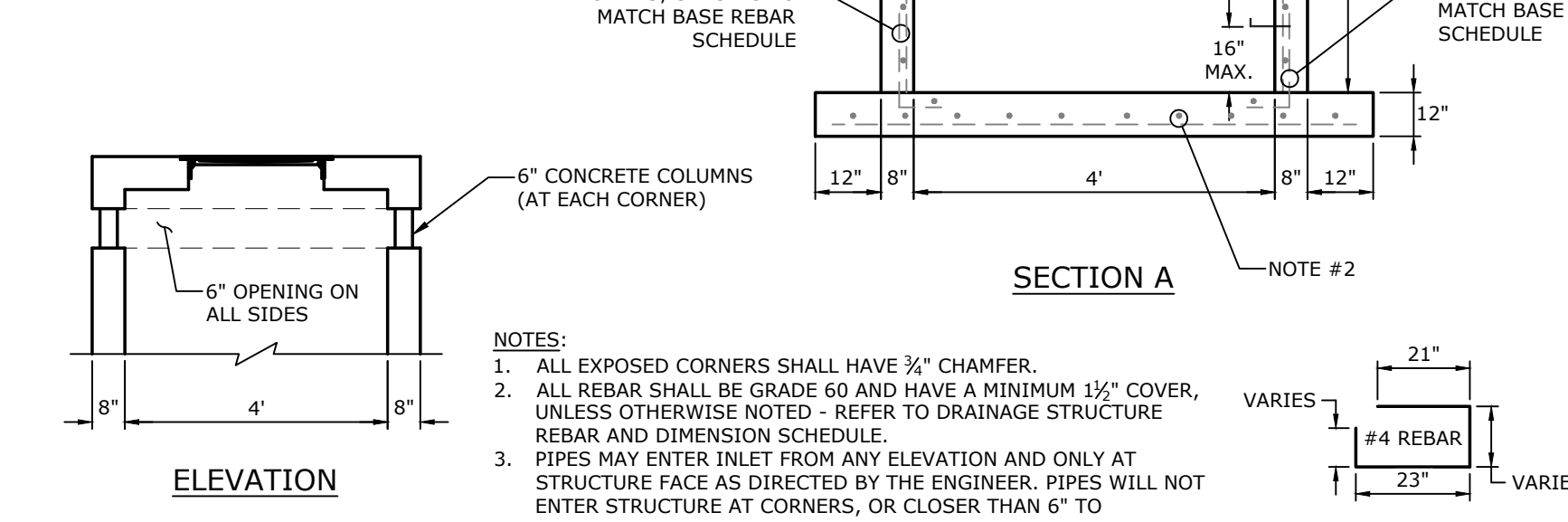
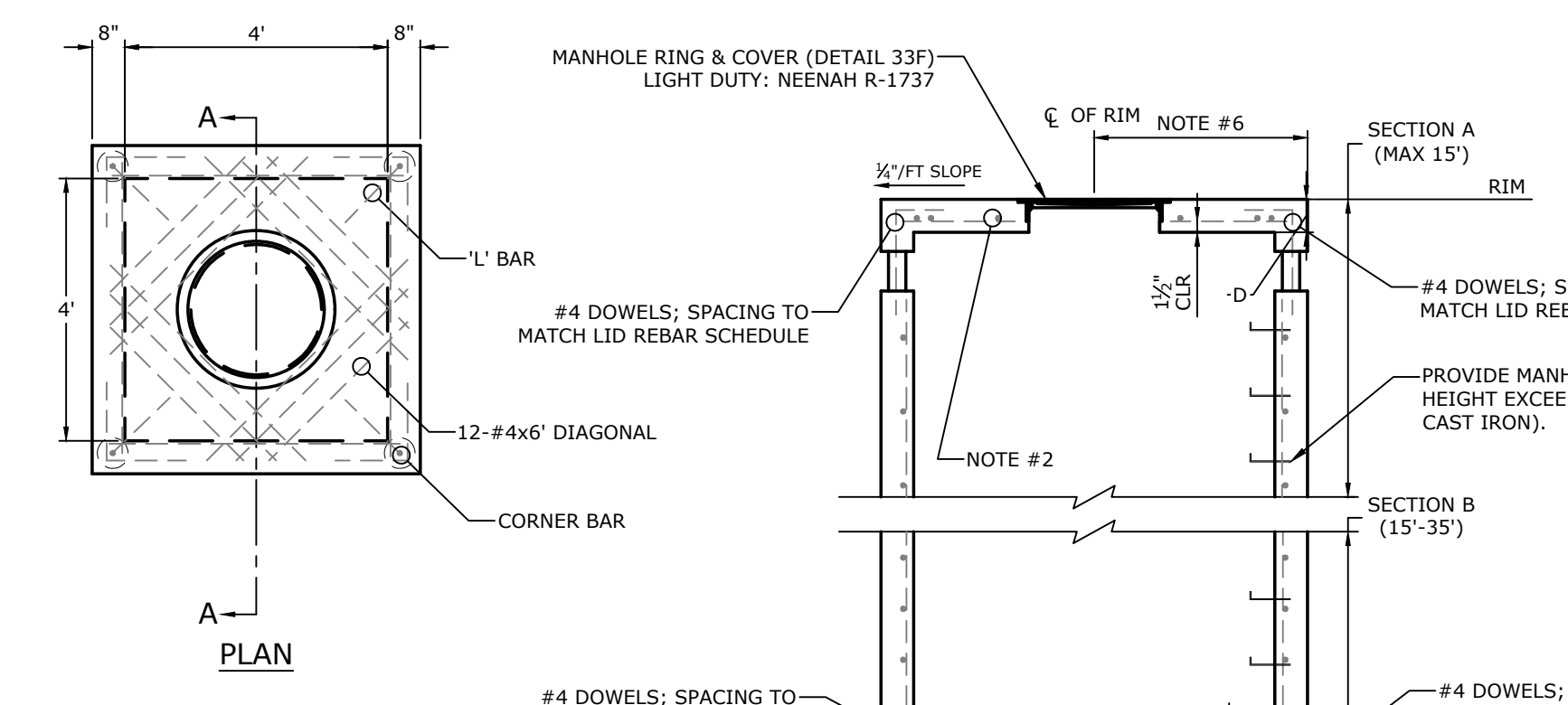
BASE REBAR SCHEDULE		
SECTION	REBAR	
'A'	#4s @ 6" O.C.B.W.	
'B'	#4s @ 6" O.C.B.W.	
LID REBAR SCHEDULE		
DIMENSIONS	REBAR	PATTERN
W ₁ ≤ 7'	#4s @ 8" O.C.B.W.	DIAGONAL @ COVER
W ₂ ≤ 7'	#4s @ 8" O.C.B.W.	DIAGONAL @ COVER
W ₁ ≤ 7'	#4s @ 8" O.C.B.W.	DIAGONAL @ COVER
W ₂ ≥ 7'	#4s @ 6" O.C.B.W.	DIAGONAL @ COVER
W ₁ ≥ 7'	#4s @ 6" O.C.B.W.	DIAGONAL @ COVER
W ₂ ≥ 7'	#4s @ 6" O.C.B.W.	DIAGONAL @ COVER

WALL REBAR SCHEDULE			
SECTION	W (W ₁ & W ₂)	REBAR (HORIZONTAL)	REBAR (VERTICAL)
'A'	4'-0"	#4s @ 9" O.C.	#4s @ 10" O.C.
	4'-0" - 7'-0"	#5s @ 9" O.C.	#4s @ 10" O.C.
	> 7'-0"	#5s @ 4 1/2" O.C.	#4s @ 10" O.C.
'B'	4'-0"	#4s @ 6" O.C.	#4s @ 10" O.C.
	4'-0" - 7'-0"	#5s @ 6" O.C.	#4s @ 10" O.C.

'T', 'N', AND 'D' REBAR SCHEDULE				
SECTION	W (W ₁ & W ₂)	'T'	'N'	'D'
'A'	4'-0" - 7'-0"	6" + PIPE WALL	8"	6"
	> 7'-0"	6" + PIPE WALL	8"	8"
'B'	4'-0"	8" + PIPE WALL	8"	8"
	4'-0" - 7'-0"	8" + PIPE WALL	10"	8"

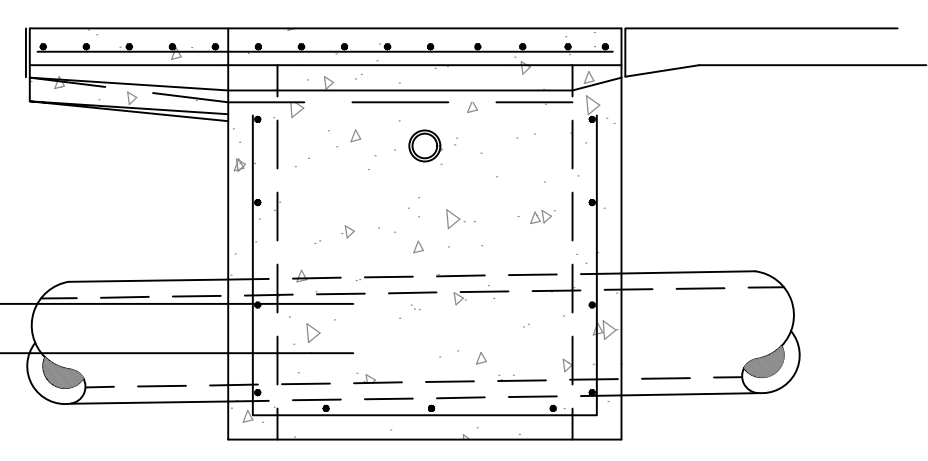
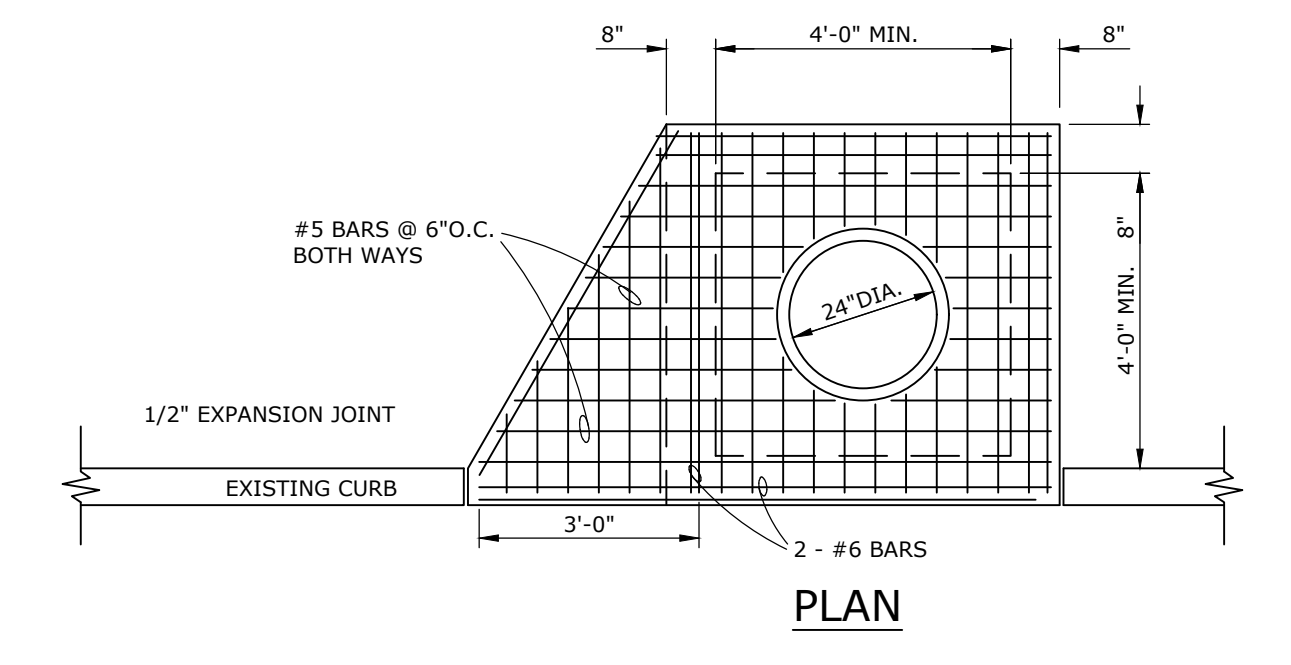
'Ø' AND 'W' DIMENSION				
PIPE SIZE	CIRCULAR STRUCTURE Ø	RECTANGULAR STRUCTURE PIPE SKEW		
		STRAIGHT	30°	45°
≤ 24"	48"	4'-0"	4'-0"	4'-10"
30"	60"	4'-0"	4'-3"	5'-8"
36"	60"	4'-0"	5'-3"	6'-5"
42"	60"	5'-3"	5'-11"	7'-3"
48"	72"	5'-10"	6'-7"	8'-0"
60"	-	7'-0"	7'-10"	9'-8"
DOUBLE - FOR 'X' SECTION ONLY				
24"	-	7'-0"	7'-10"	9'-5"
30"	-	8'-2"	9'-2"	11'-0"
36"	-	9'-4"	10'-6"	12'-6"
42"	-	10'-6"	11'-10"	14'-2"
48"	-	11'-8"	13'-2"	15'-10"

DRAINAGE STRUCTURE REBAR & INLET DIMENSION SCHEDULE
N.T.S.

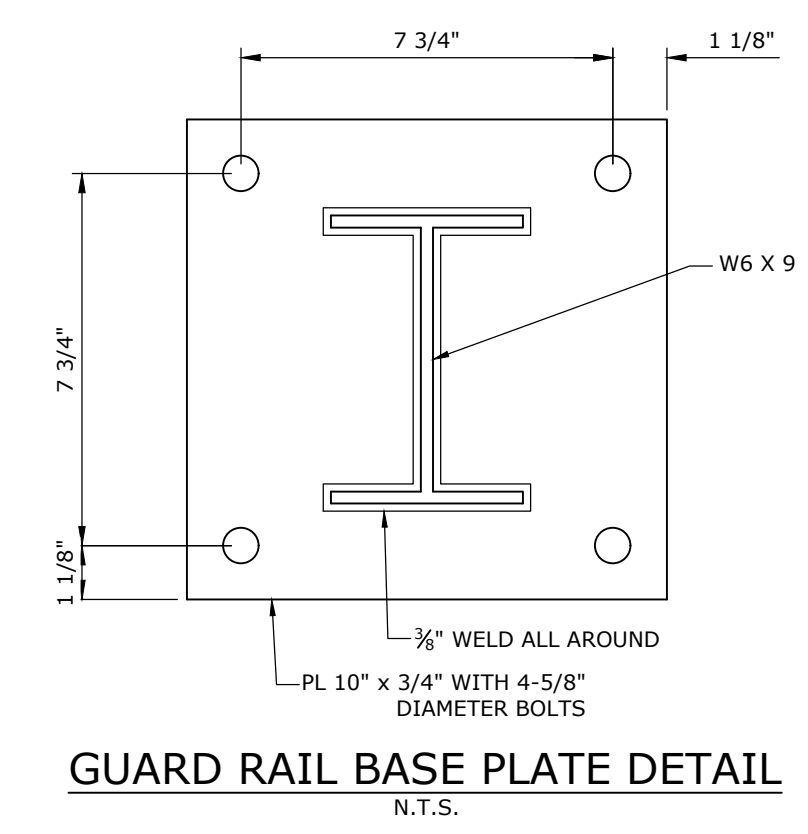


- NOTES:
- ALL EXPOSED CORNERS SHALL HAVE 3/4" CHAMFER.
 - ALL REBAR SHALL BE GRADE 60 AND HAVE A MINIMUM 1/2" COVER, UNLESS OTHERWISE NOTED - REFER TO DRAINAGE STRUCTURE REBAR AND DIMENSION SCHEDULE.
 - PIPES MAY ENTER INLET FROM ANY ELEVATION AND ONLY AT STRUCTURE FACE AS DIRECTED BY THE ENGINEER. PIPES WILL NOT ENTER STRUCTURE AT CORNERS OR CLOSER THAN 6" TO STRUCTURE CORNER. REBAR SHALL BE CUT TO CLEAR PIPE BY 1/2".
 - EXPANSION JOINT SHALL HAVE A THICKNESS OF 1/2" AND CONFORM TO AASHTO SPECIFICATIONS M2.3.
 - CONCRETE FOR INLET & BASE SHALL HAVE A COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS (MIN) W/ 4%-7% AIR ENTRAINMENT.
 - CENTER OF MANHOLE LID SHALL BE PLACED NO MORE THAN 2" (MAX) OFFSET FROM THE EXTERIOR OF THE STRUCTURE WALL FOR ALL STRUCTURES TALLER AND / OR WIDER THAN 4" TO ALLOW ACCESS FOR STEPS.

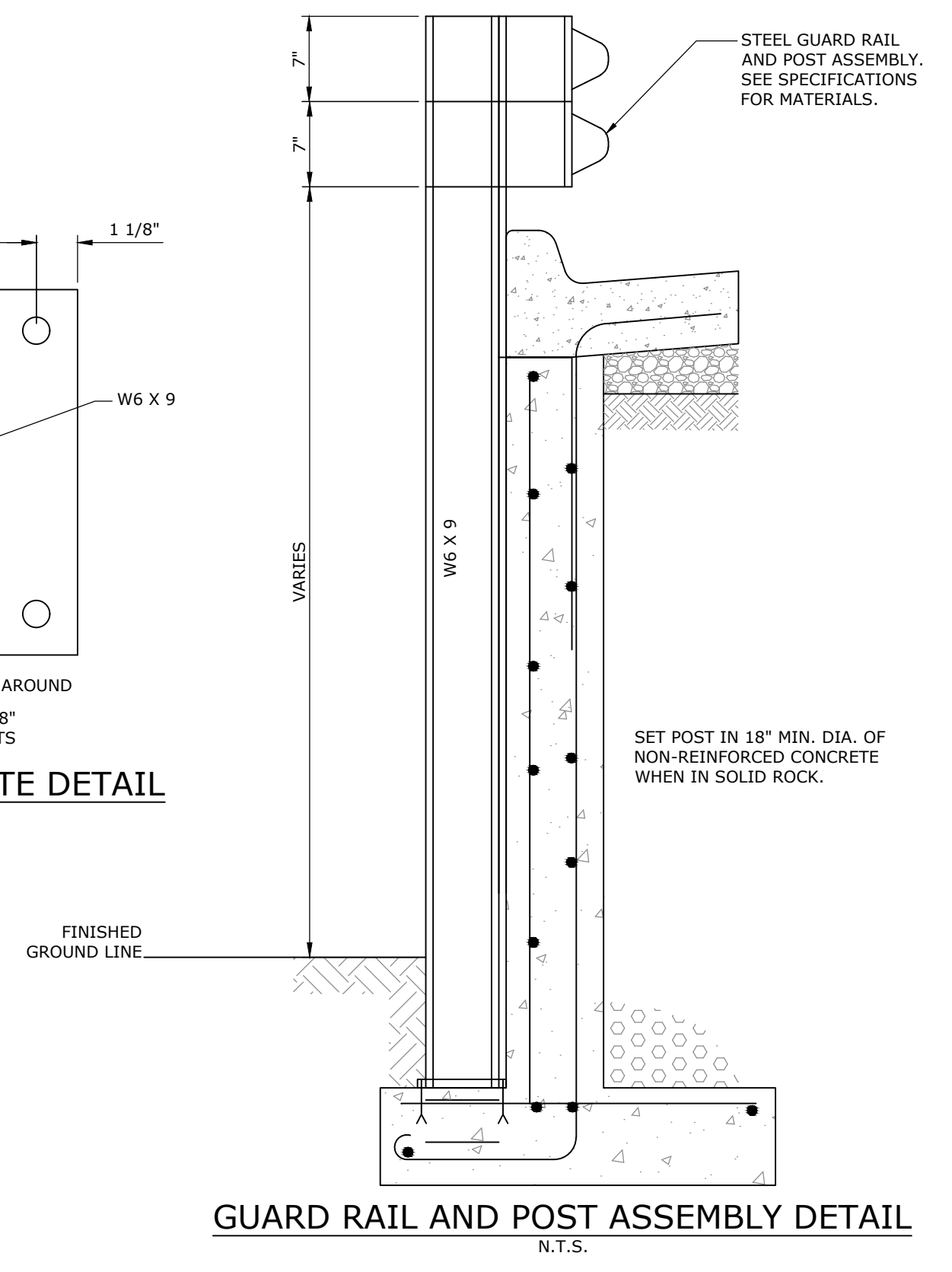
RECTANGULAR AREA INLET
N.T.S.



STANDARD CURB INLET DETAIL
N.T.S.



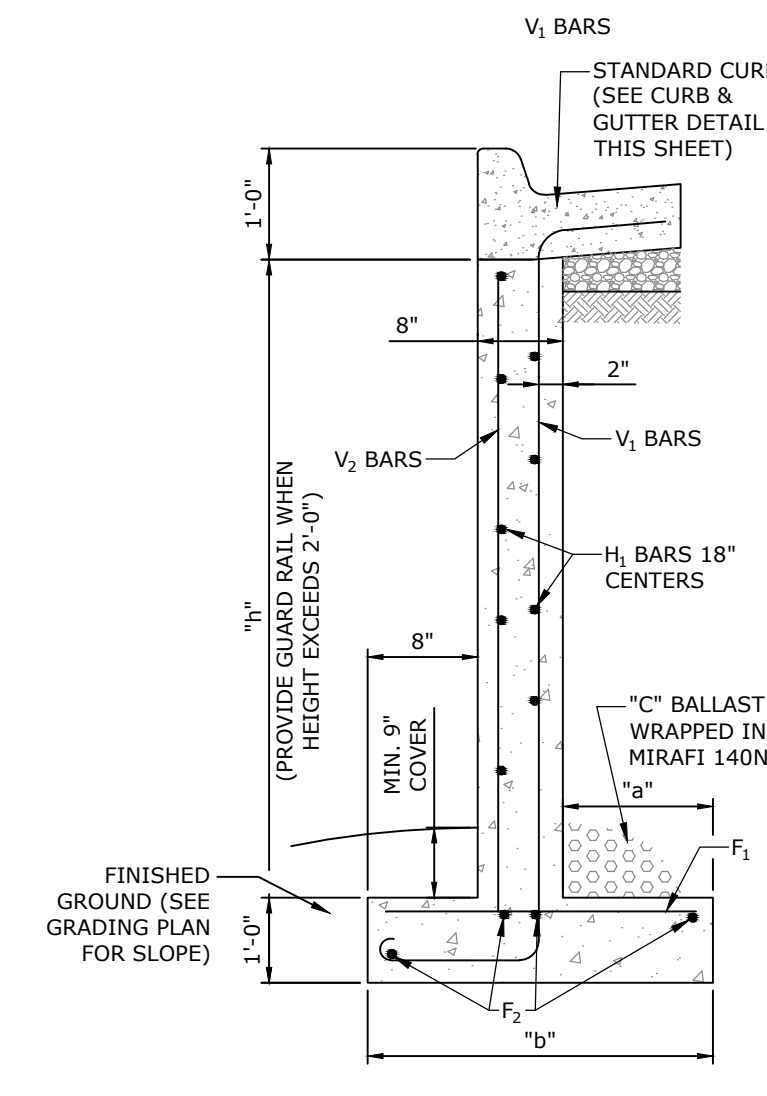
GUARD RAIL BASE PLATE DETAIL
N.T.S.



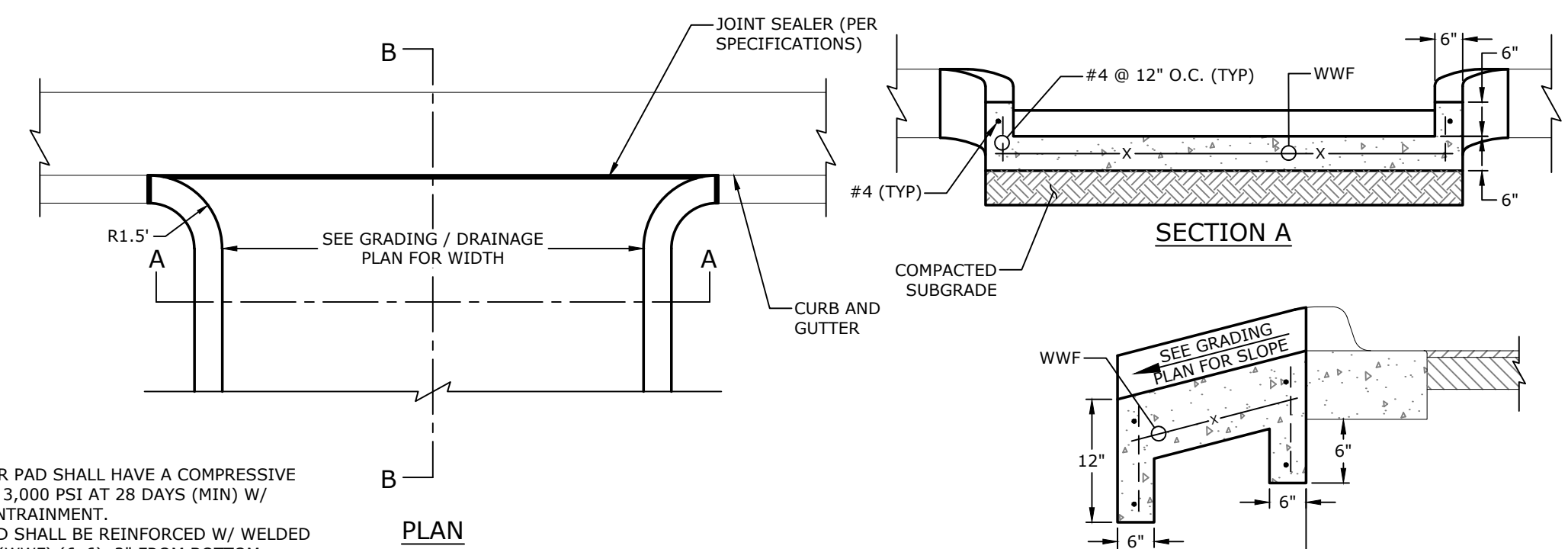
GUARD RAIL AND POST ASSEMBLY DETAIL
N.T.S.

BENDING DIAGRAM			
BAR SIZE	BAR	PIN DIA.	
#4	4 1/2"	2 1/2"	
#5	5"	3"	

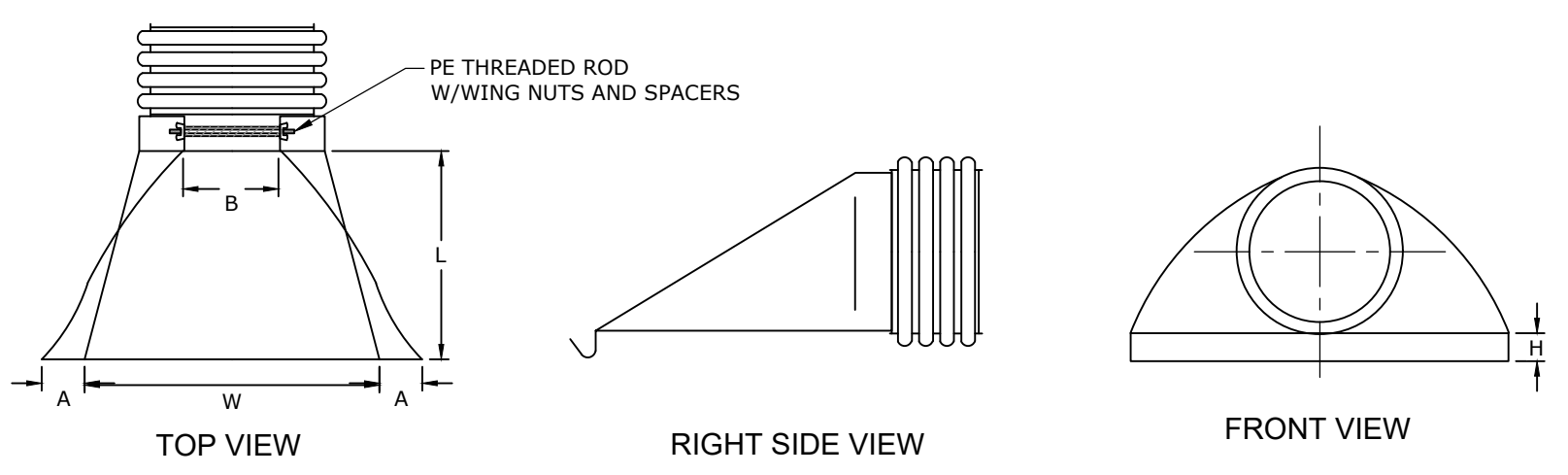
STEEL SCHEDULE									
SIZE	SPACING	V ₁ BARS		F ₁ BARS		H ₁		V ₂	
		SIZE	SPACING	SIZE	SPACING	SIZE	SPAC.	SIZE	SPAC.
1'-0"	2'-2"	3'-6"	#4	12"	#4	18"	18"	18"	5
2'-0"	2'-2"	3'-6"	#4	12"	#4	18"	18"	18"	5
3'-0"	2'-2"	3'-6"	#4	12"	#4	18"	18"	18"	5
4'-0"	2'-8"	4'-0"	#4	12"	#4	12"	18"	18"	5
5'-0"	3'-2"	4'-6"	#4	9"	#4	9"	18"	18"	5
6'-0"	3'-8"	5'-0"	#4	6"	#4	6"	18"	18"	5



REINFORCED CONCRETE RETAINING WALL WITH CURB ON TOP DETAIL
N.T.S.



CONCRETE FLUME DETAIL
N.T.S.



FLARED END SECTION DETAIL
N.T.S.

PART #	PIPE SIZE	A	B(MAX)	H	L	W
1215NP	12 & 15 in	6.5 in	10.0 in	6.5 in	25.0 in	29.0 in

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REVISIONS
DATE DESCRIPTION

DAVIDSON ENGINEERING
211 W. ARCH AVE., S.T.L.D.
DAVIDSONENGINEERS.COM
SEARCY, AR 72143
TEL: 901.962.7178



PROJECT TITLE

HARDING PLACE

801 Benton Ave,
Searcy, AR 72143

DRAWING NAME

**MISCELLANEOUS
DETAILS III**

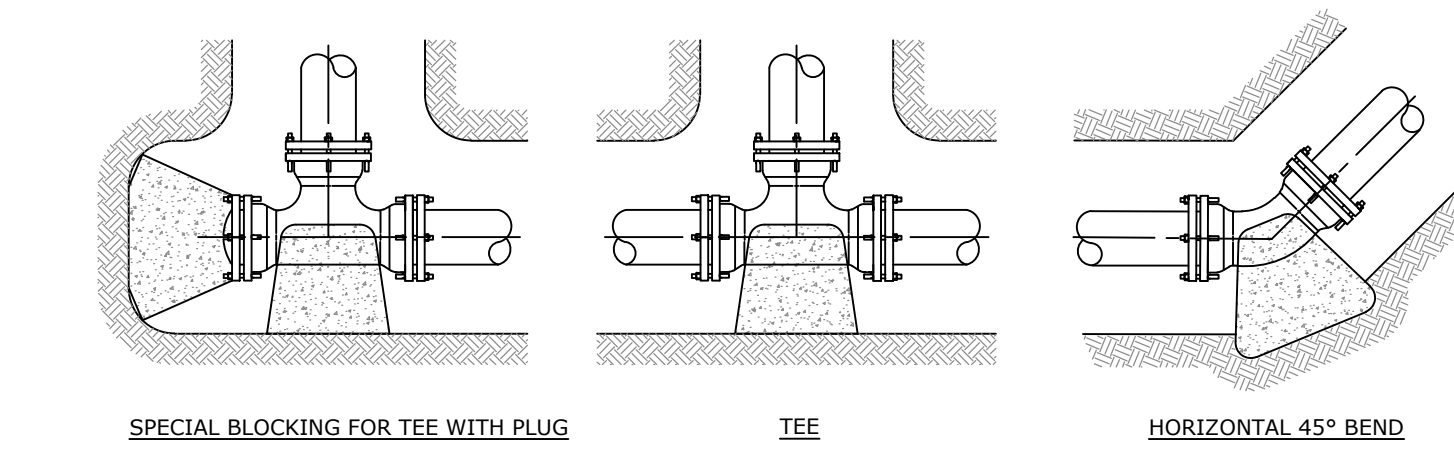
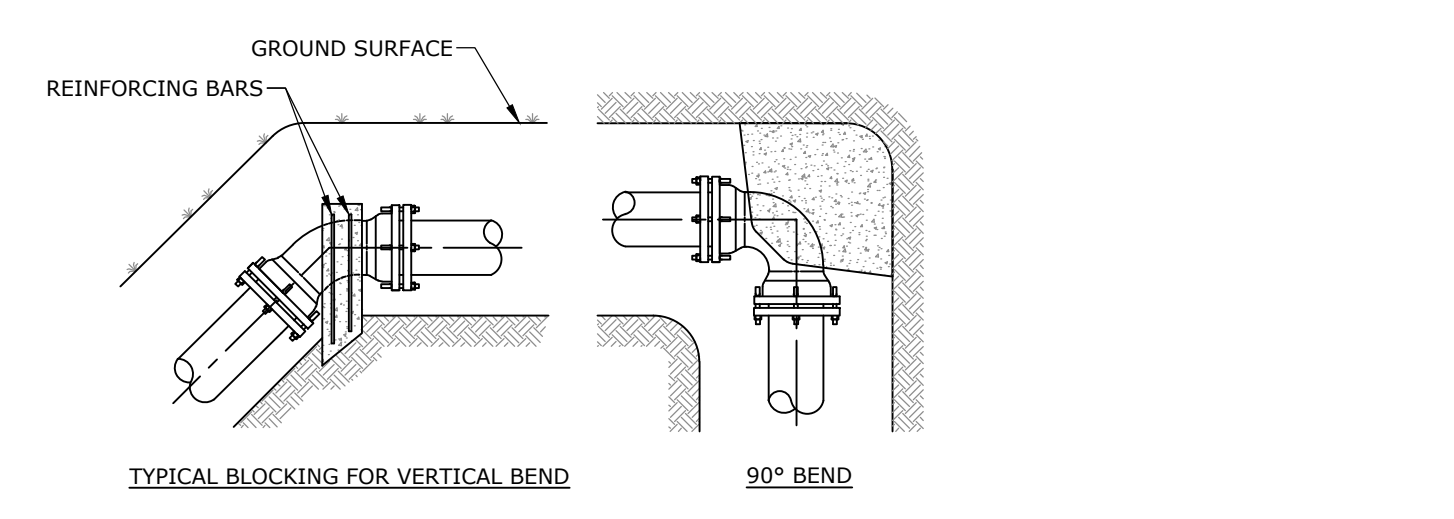
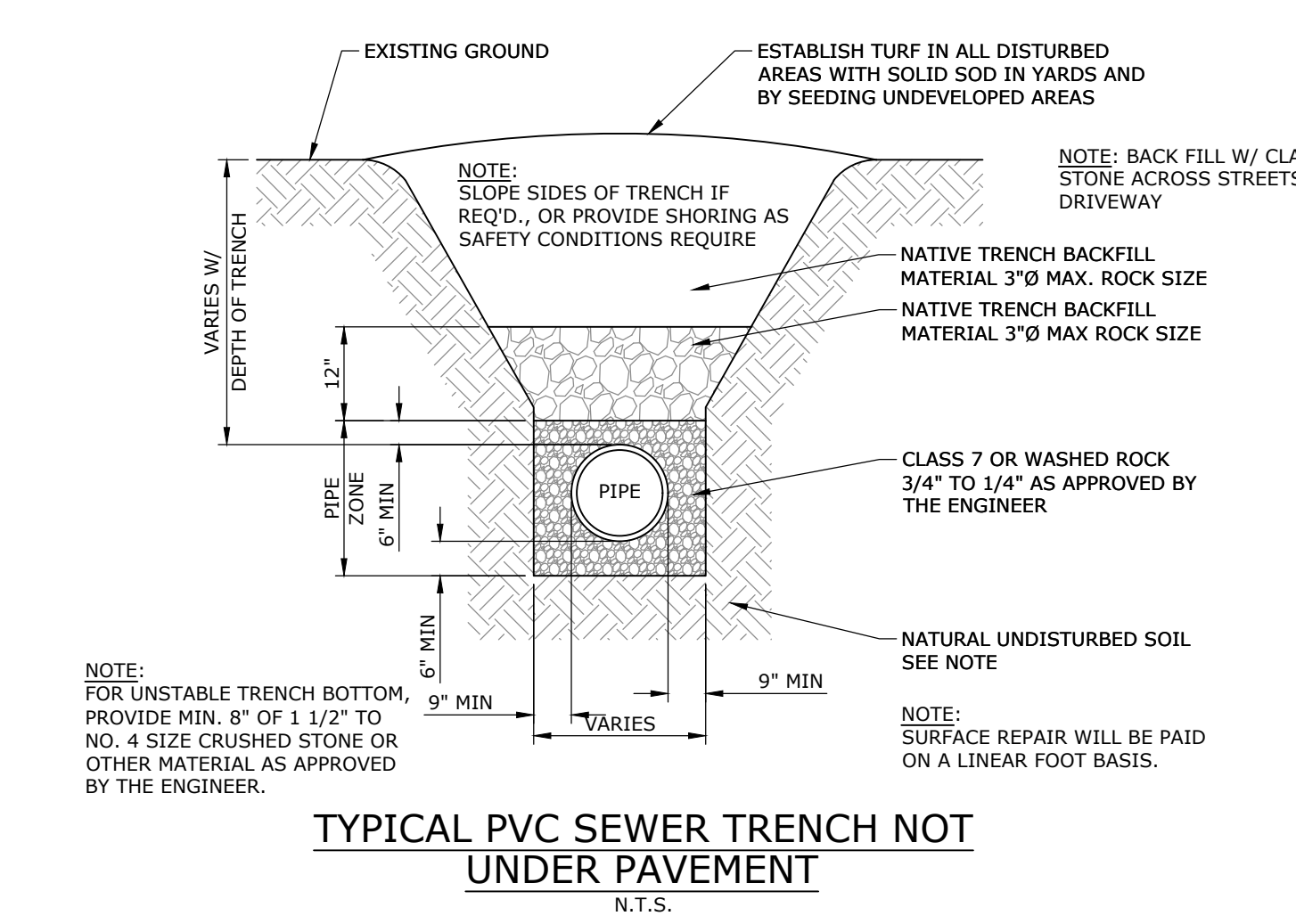
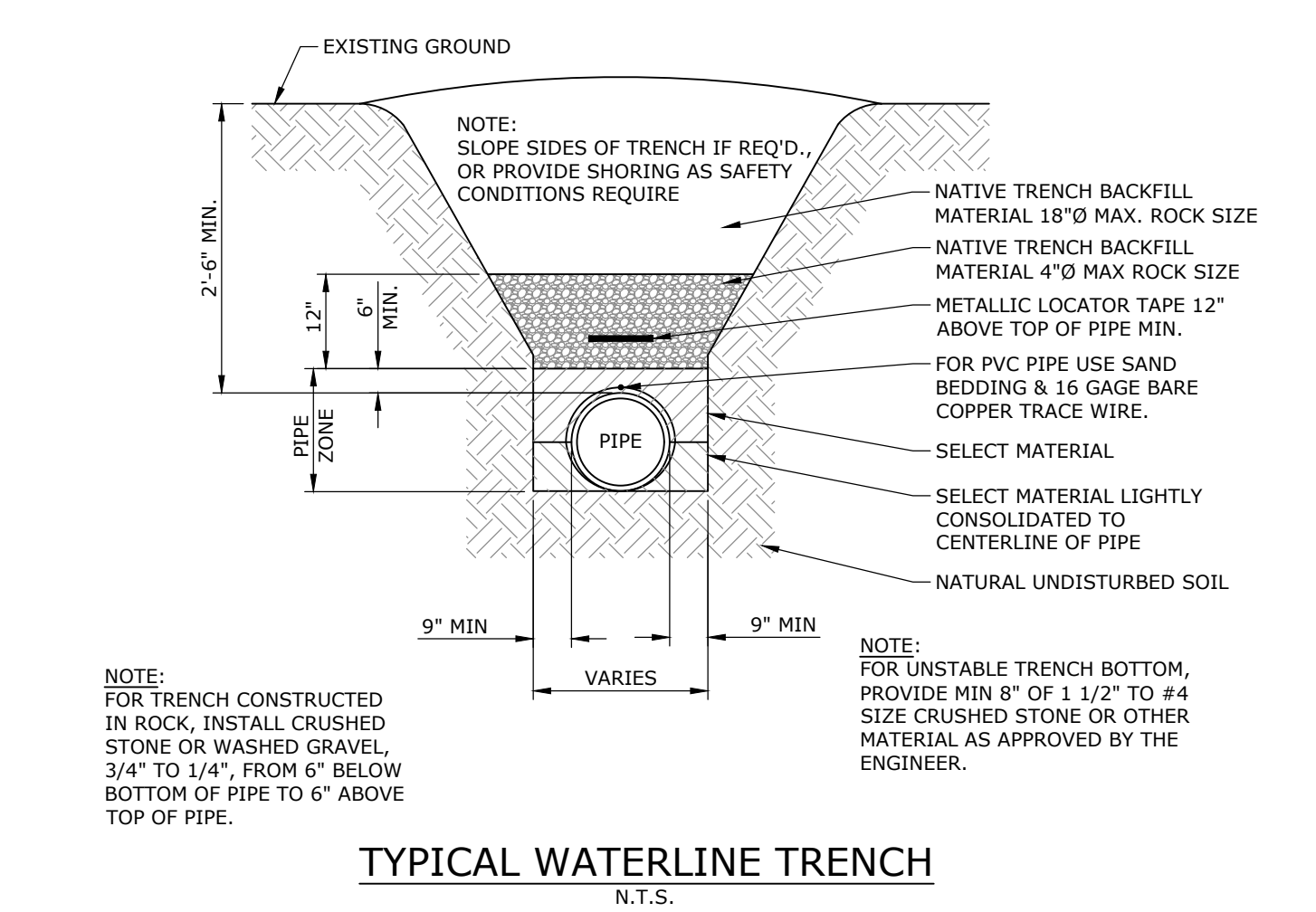
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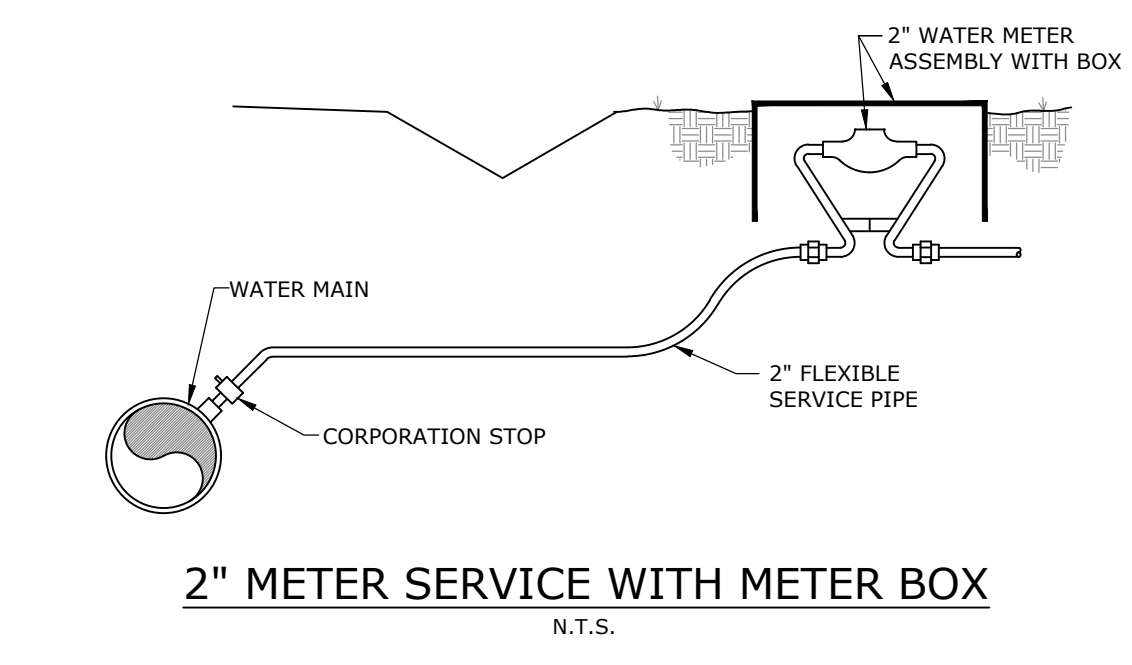
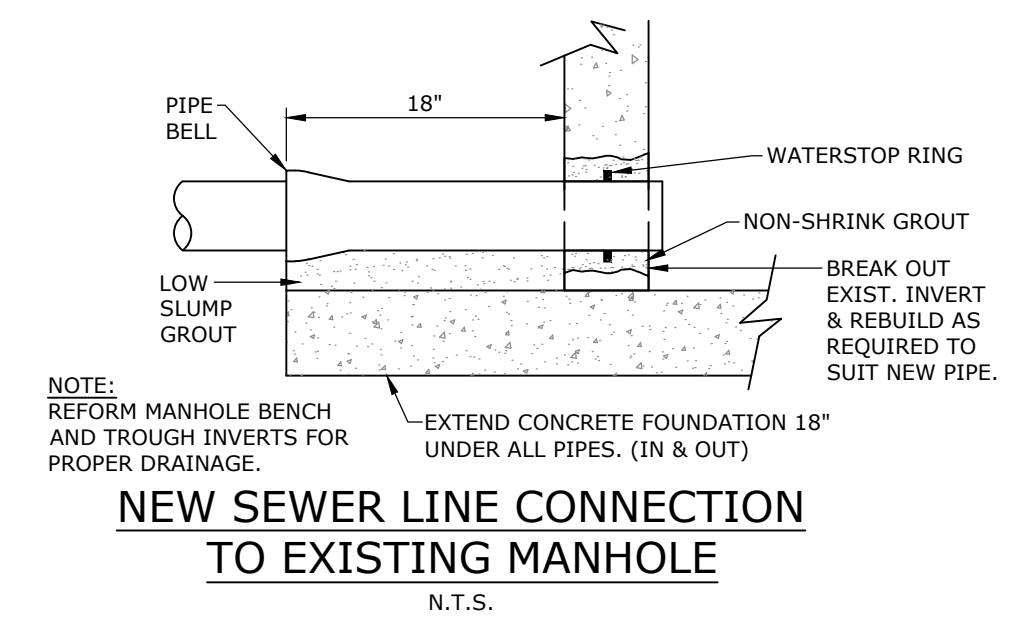
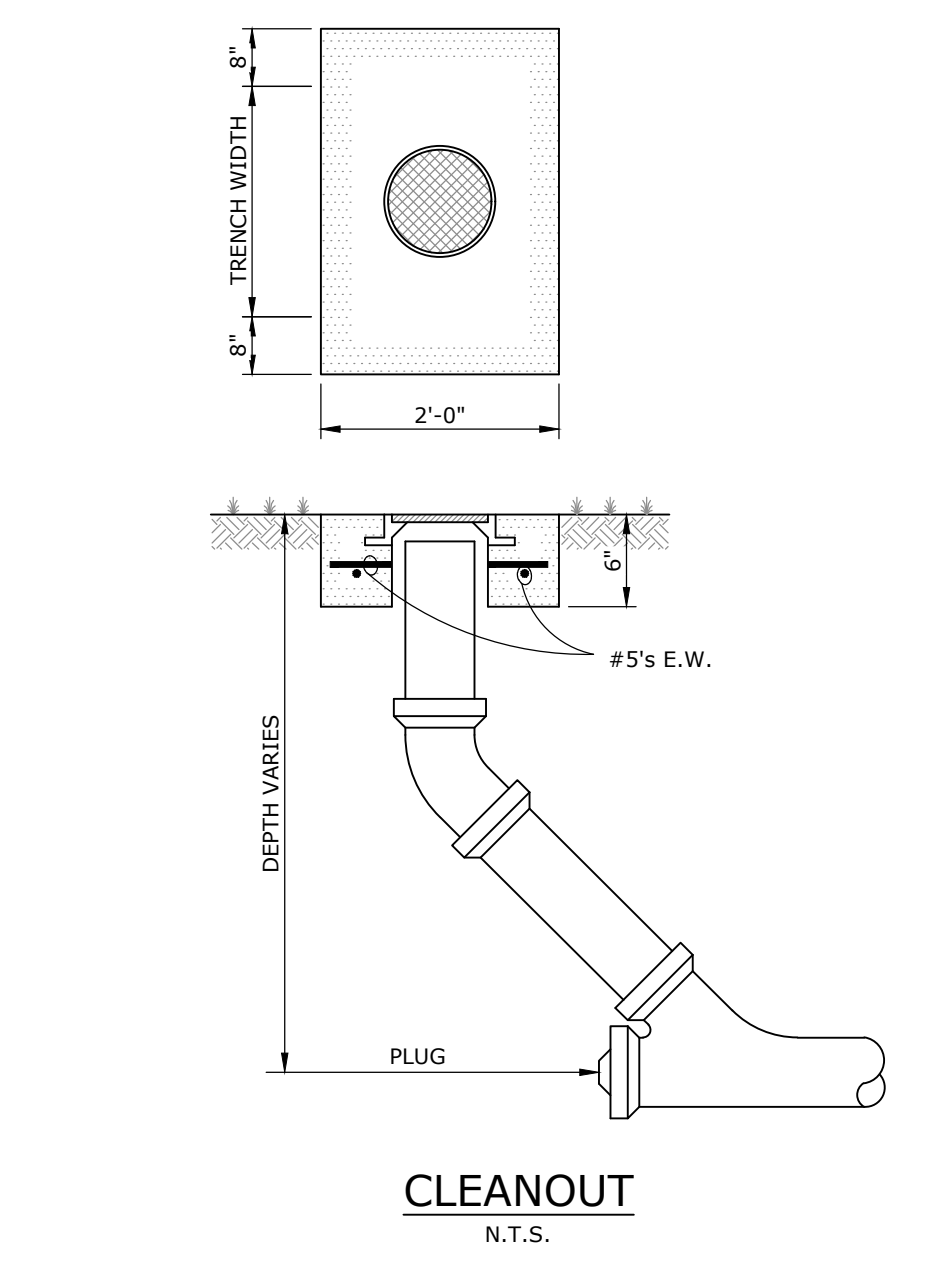
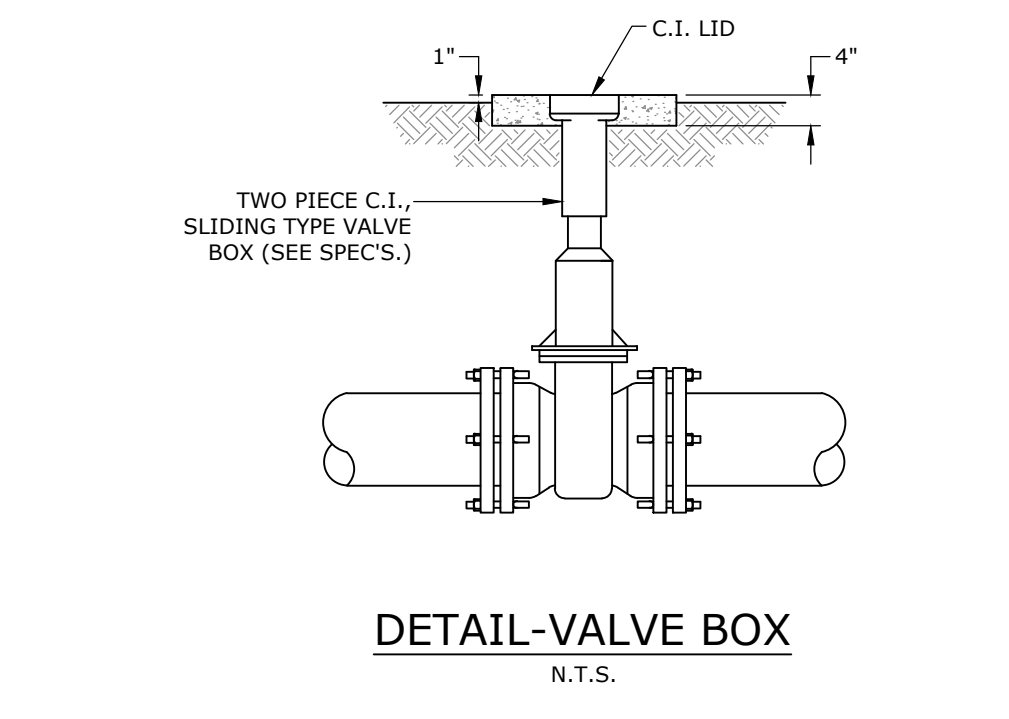
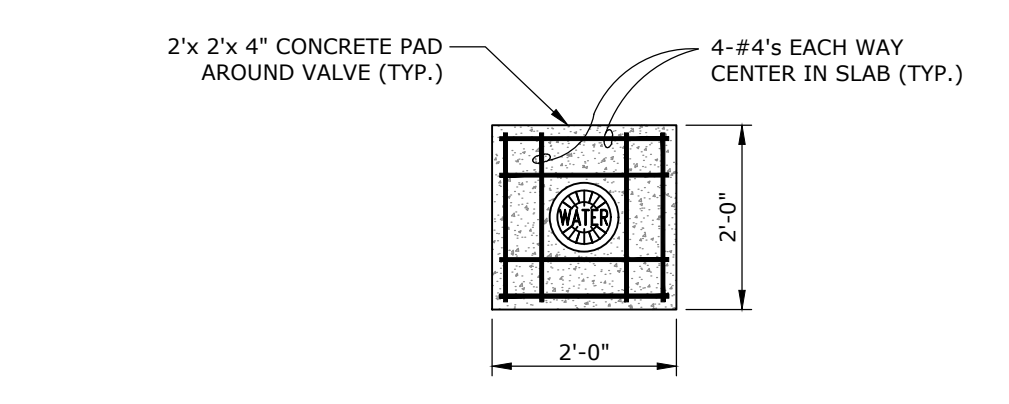
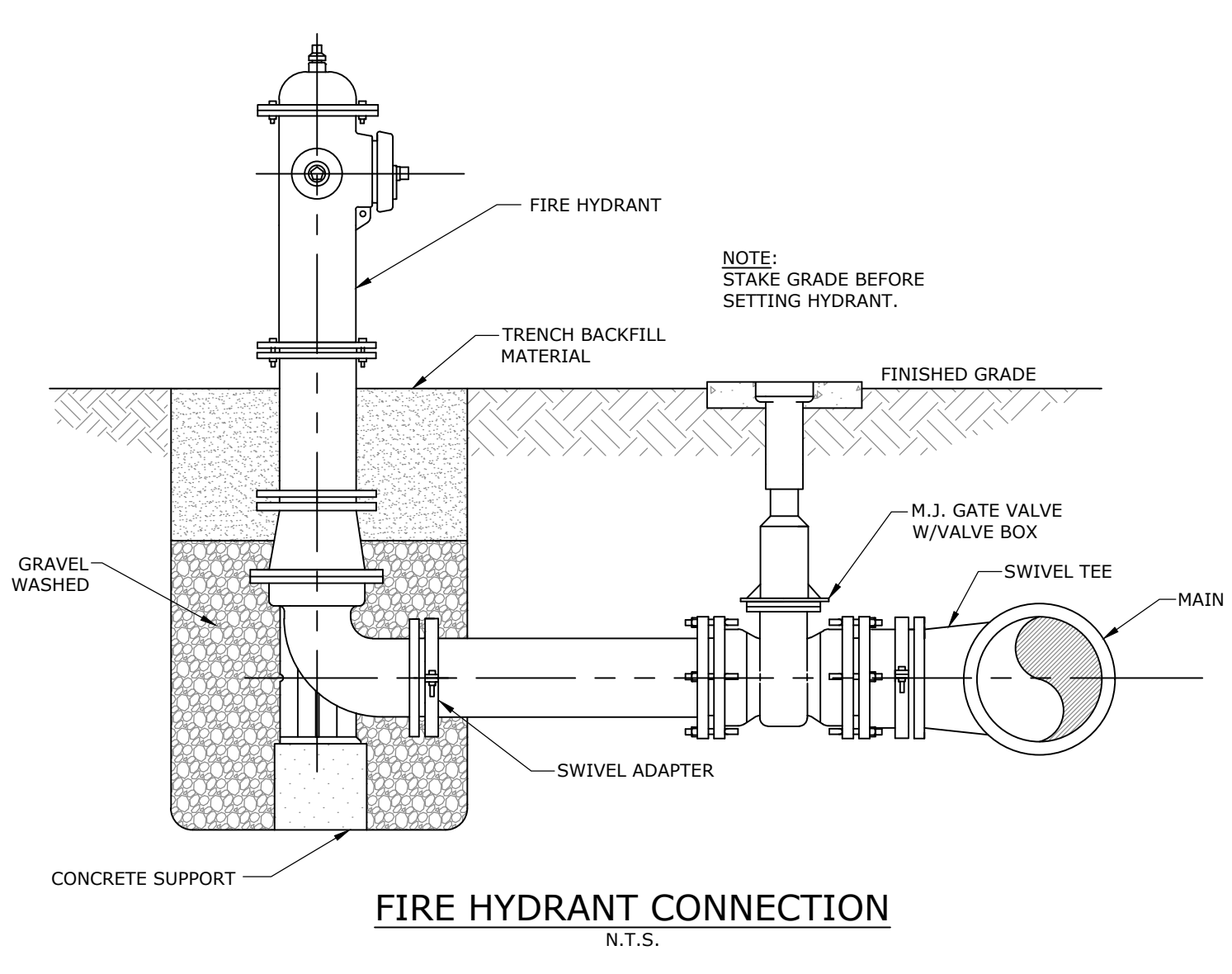
TYPICAL BLOCKING DETAILS
N.T.S.

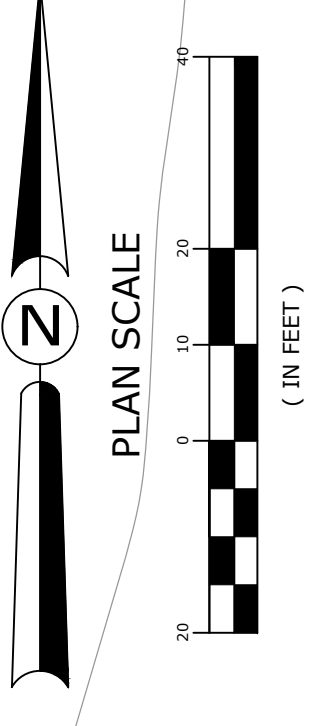
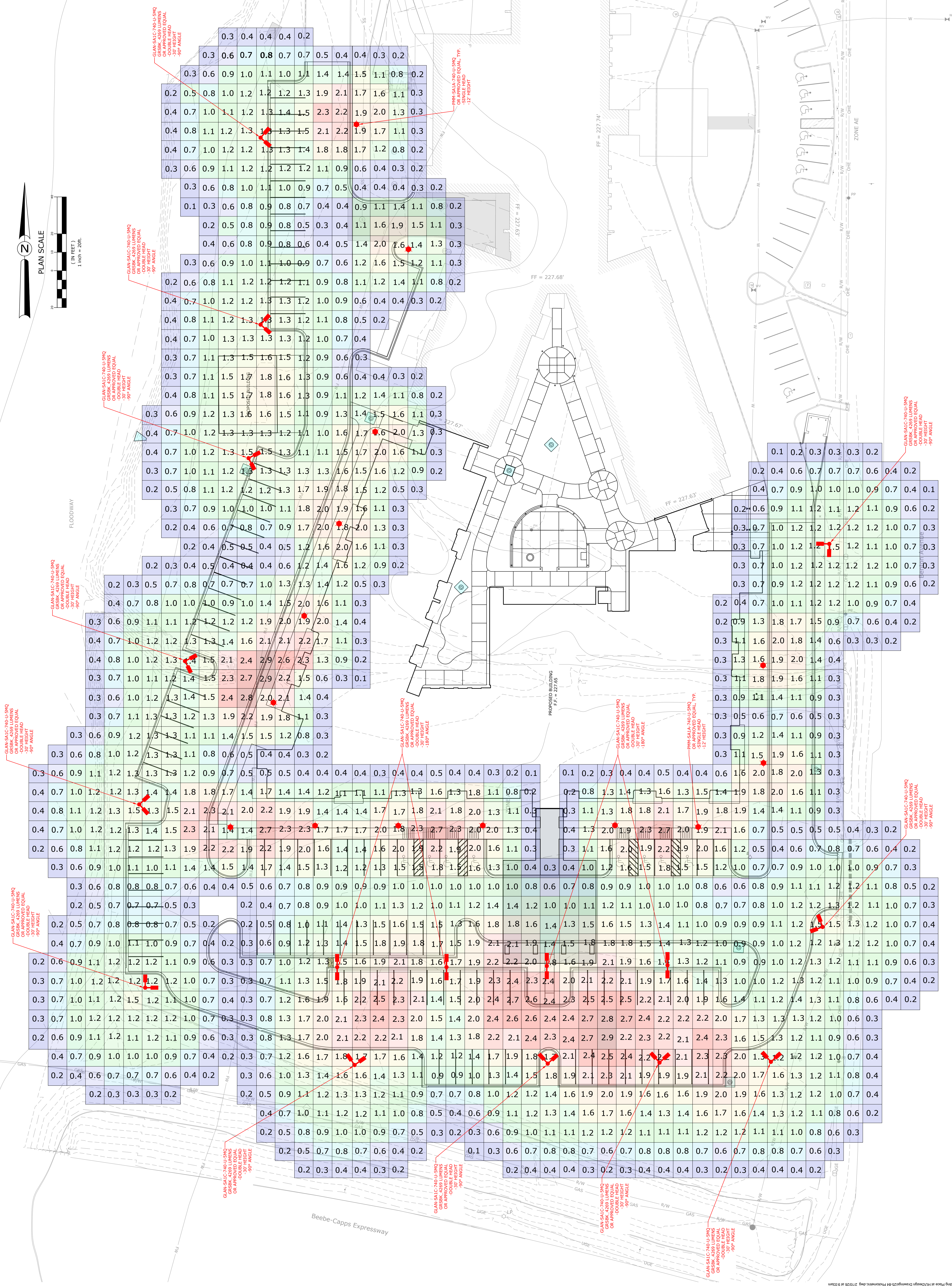
FITTING SIZE	TEE, WYE, PLUG, OR CAP			90° BEND, PLUGGED CROSS			TEE PLUGGED ON RUN			BEND ANGLE		
	A ₁	A ₂	A ₃	A ₁	A ₂	A ₃	A ₁	A ₂	A ₃	45°	22 1/2°	11 1/4°
4	1.0	1.4	1.0	1.4	1.0	1.0	1.0	1.4	1.0	-	-	-
6	2.1	3.0	2.1	3.0	2.1	3.0	2.1	3.0	1.6	1.0	-	-
8	3.8	5.3	3.8	5.3	3.8	5.4	2.9	1.5	1.0	-	-	-
10	5.9	8.4	5.9	8.4	5.9	8.4	4.6	2.4	1.2	-	-	-
12	8.5	12.0	8.5	12.0	8.5	12.0	6.6	3.4	1.7	-	-	-
14	11.5	16.3	11.5	16.3	11.5	16.3	8.9	4.6	2.3	-	-	-
16	15.0	21.3	15.0	21.3	15.0	21.3	11.6	6.0	3.0	-	-	-
18	19.0	27.0	19.0	27.0	19.0	27.0	14.6	7.6	3.8	-	-	-
20	23.5	33.3	23.5	33.3	23.5	33.3	18.1	9.4	4.7	-	-	-
24	34.0	48.0	34.0	48.0	34.0	48.0	26.2	13.6	6.8	-	-	-

FITTING SIZE	BEND ANGLE	
	45°	22 1/2° 11 1/4°
4	1.1	0.4 0.2
6	2.7	1.0 0.4
8	4.0	1.5 0.6
10	6.0	2.3 0.9
12	8.5	3.2 1.3
14	11.5	4.3 1.8
16	14.8	5.6 2.3

FITTING SIZES	ROD SIZES	EMBEDMENT
12" AND LESS	#6'S	30"
14" - 16"	#8'S	36"

- THRUST BLOCK NOTES:**
- KEEP CONCRETE CLEAR OF JOINT ACCESSORIES.
 - CONCRETE THRUST BLOCKING SHALL BE POURED AGAINST UNDISTURBED EARTH.
 - REQUIRED VOLUMES OR BEARING AREAS A. FITTINGS SHALL BE AS INDICATED BELOW. ADJUSTED, IF NECESSARY, TO CONFORM TO THE TEST PRESSURE(S) AND ALLOWABLE SOIL BEARING STRESS(ES) STATED IN THE SPECIFICATIONS.
 - THRUST BLOCK VOLUMES FOR VERTICAL BENDS HAVING UPWARD RESULTANT THRUSTS ARE BASED ON TEST PRESSURE OF 150 PSIG AND THE WEIGHT OF CONCRETE = 4050 LBS/CU YD. TO COMPUTE VOLUMES FOR DIFFERENT TEST PRESSURES, USE THE FOLLOWING EQUATION: VOLUME = (TEST PRESS. / 150) x (TABLE VALUE).
 - BEARING AREAS FOR HORIZONTAL BEND THRUST BLOCKS ARE BASED ON TEST PRESSURE OF 150 PSIG AND AN ALLOWABLE SOIL BEARING STRESS OF 2000 LBS/SQ. FT. TO COMPUTE BEARING AREAS FOR DIFFERENT TEST PRESSURES AND SOIL BEARING STRESSES, USE THE FOLLOWING EQUATION: BEARING AREA = (TEST PRESS. / 150) x (2000/SOIL BEARING STRESS) x (TABLE VALUE).
 - THRUST BLOCKS FOR VERTICAL BENDS HAVING DOWNWARD RESULTANT THRUST SHALL BE THE SAME AS FOR HORIZONTAL BENDS.
 - BEARING AREAS, VOLUMES, AND SPECIAL BLOCKING DETAILS SHOWN ON PLANS TAKE PRECEDENCE OVER THIS STANDARD.
 - BEARING AREA OF THRUST BLOCK SHALL NOT BE LESS THAN 1.0 SQ. FT.
 - VERTICAL BENDS THAT REQUIRE A THRUST BLOCK VOLUME EXCEEDING 3 CUBIC YARDS REQUIRE SPECIAL BLOCKING DETAILS. SEE PLANS.





FLOODWAY

FF = 227.68'

FF = 227.74'

FF = 227.63'

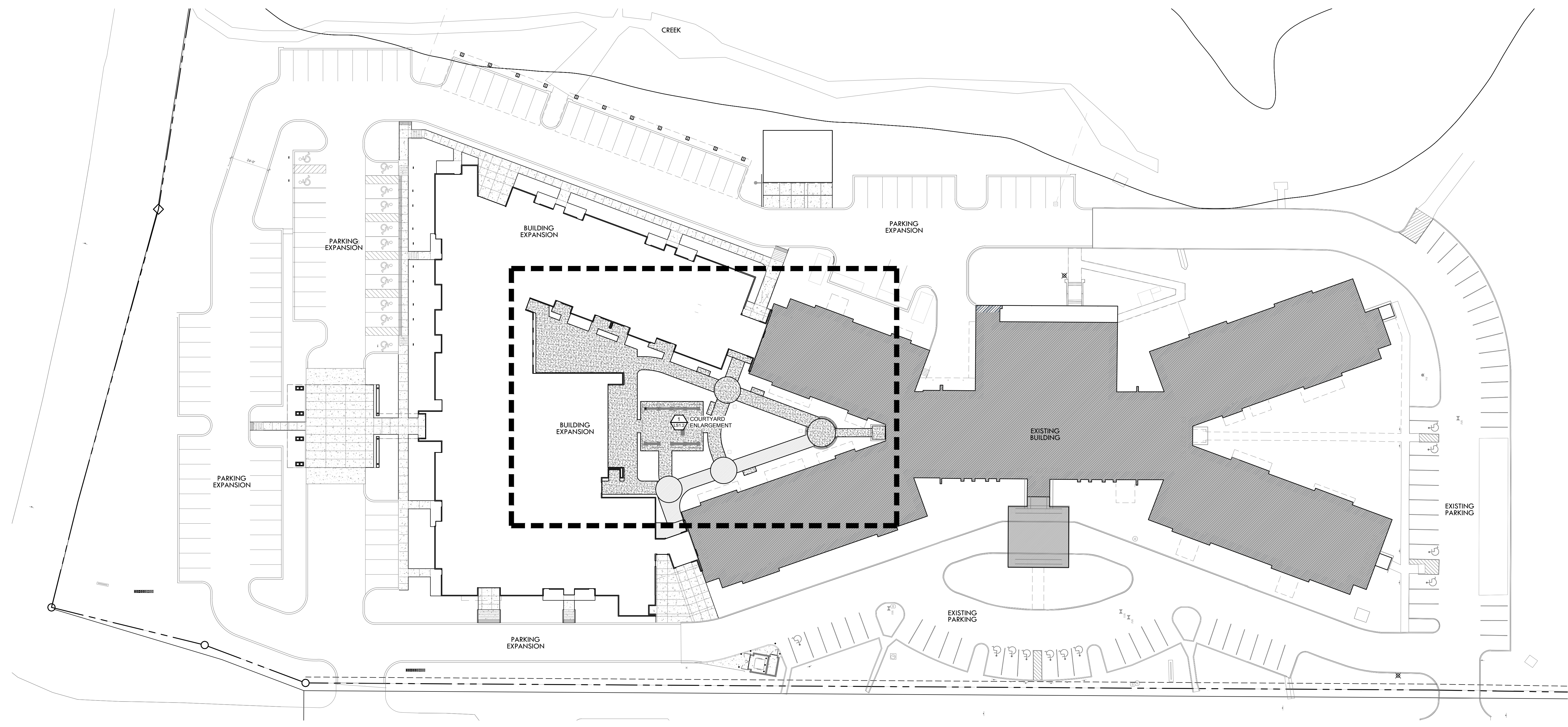
PROPOSED BUILDING
FF = 227.65'

Beebe-Capps Expressway

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1 OVERALL SITE PLAN
SCALE: 1" = 30'

PROJECT TITLE

HARDING PLACE

801 Benton Ave,
Searcy, AR 72143

DRAWING NAME

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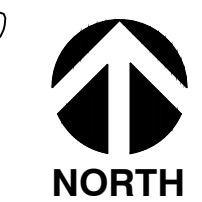
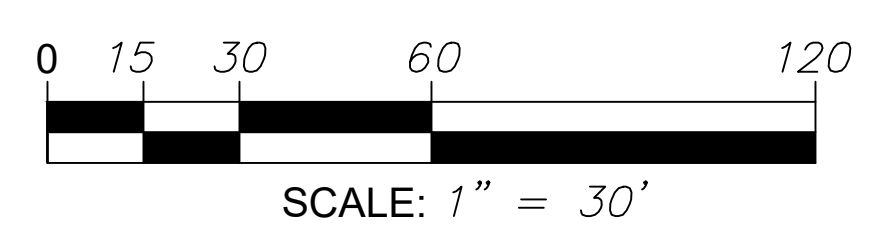
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LS1.1



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DRAWING NAME

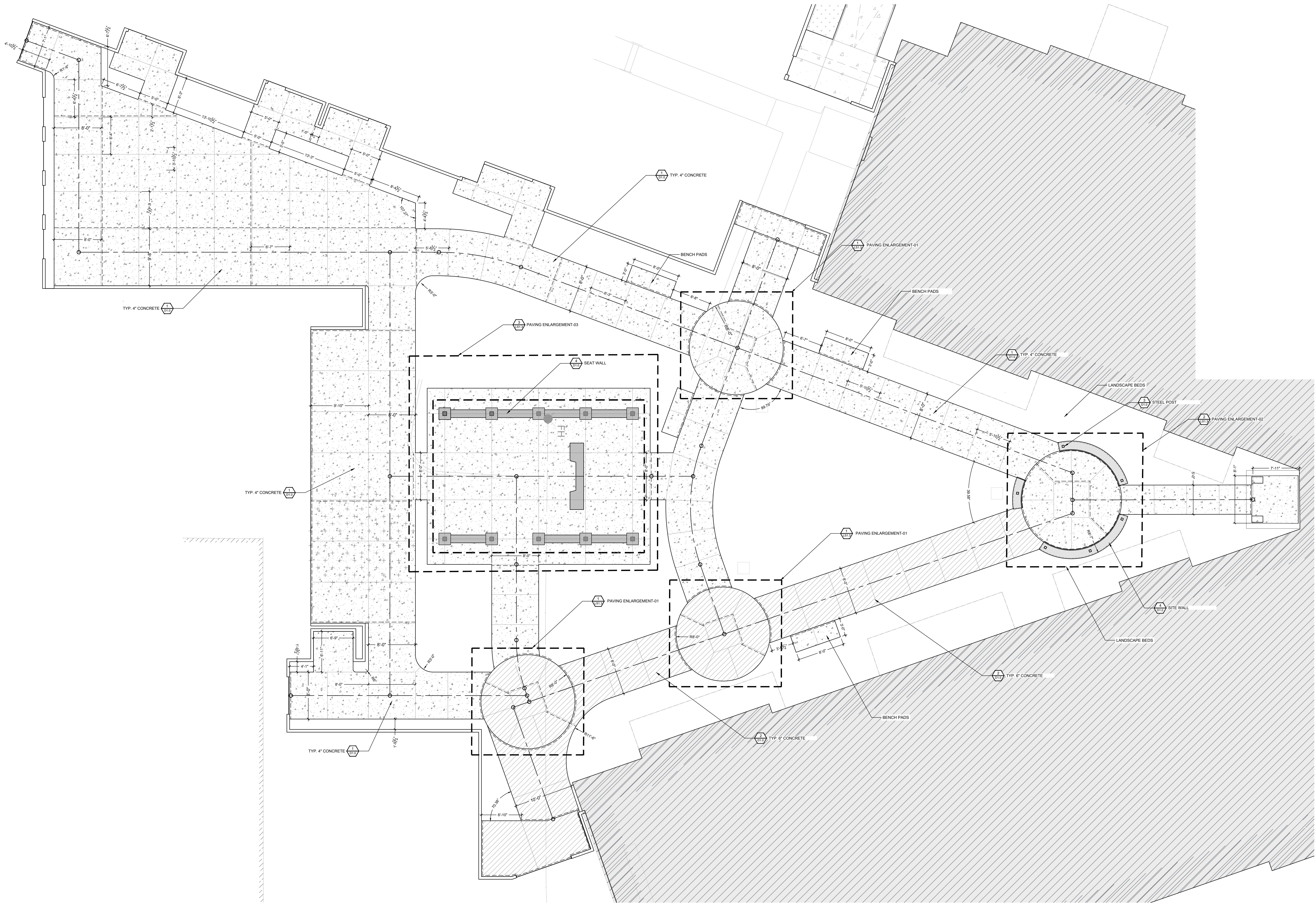
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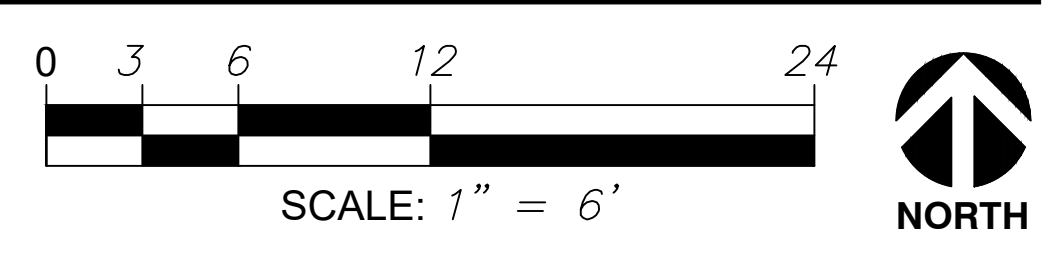
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1 COURTYARD ENLARGEMENT
SCALE: 1" = 6'



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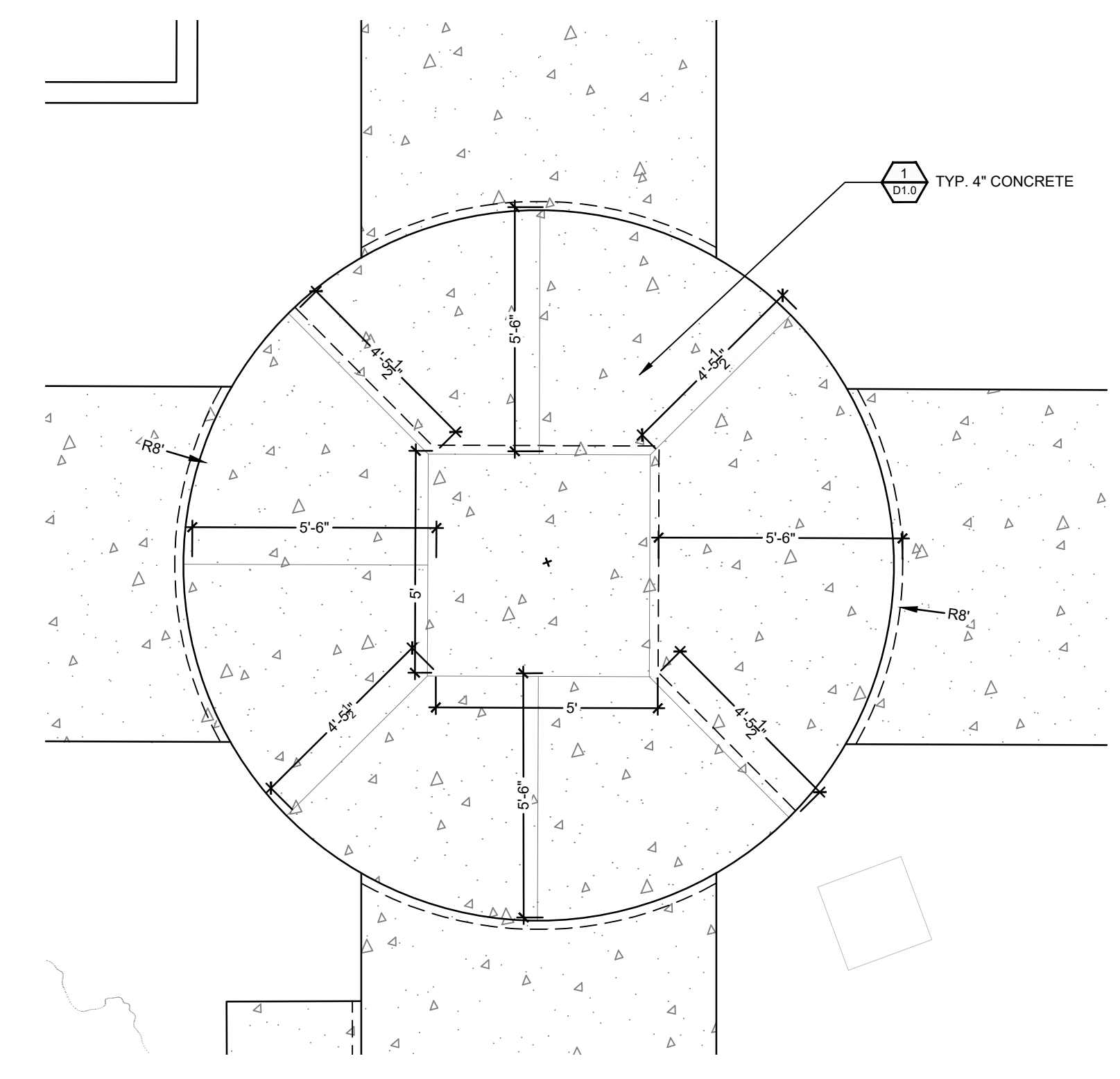
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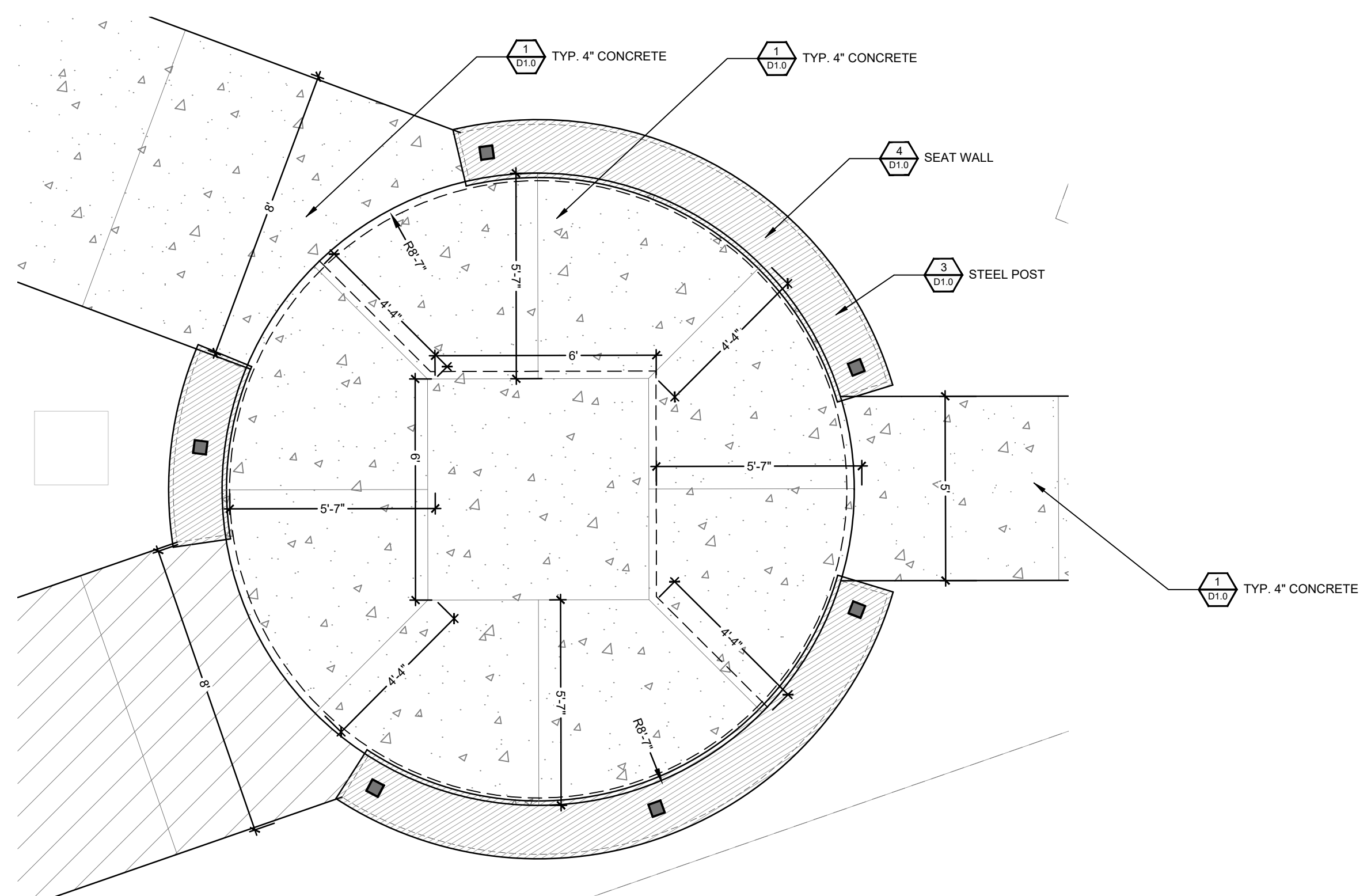
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DRAWING NUMBER

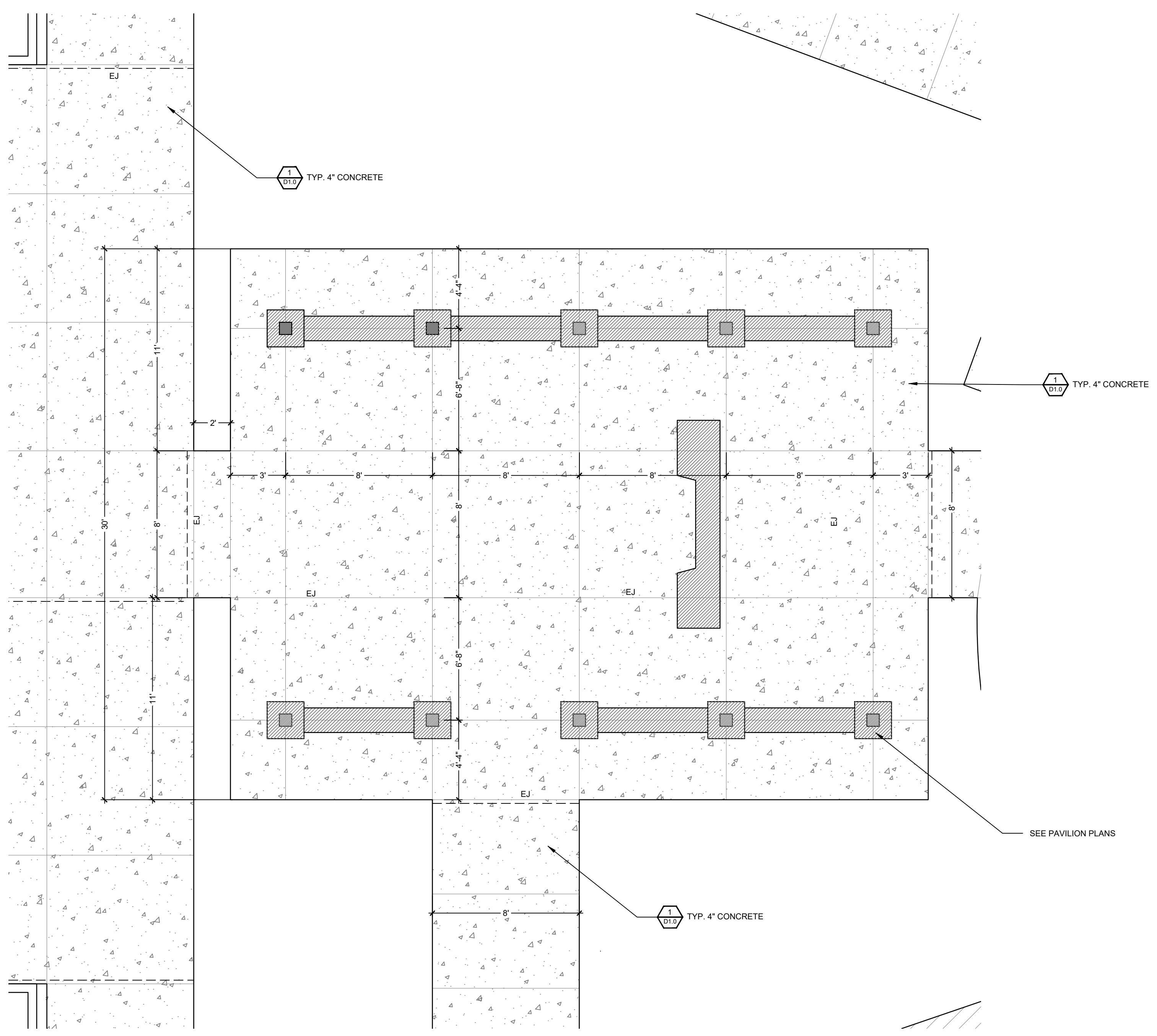
LS1.3



1 PAVING ENLARGEMENT-01
SCALE: 1:3

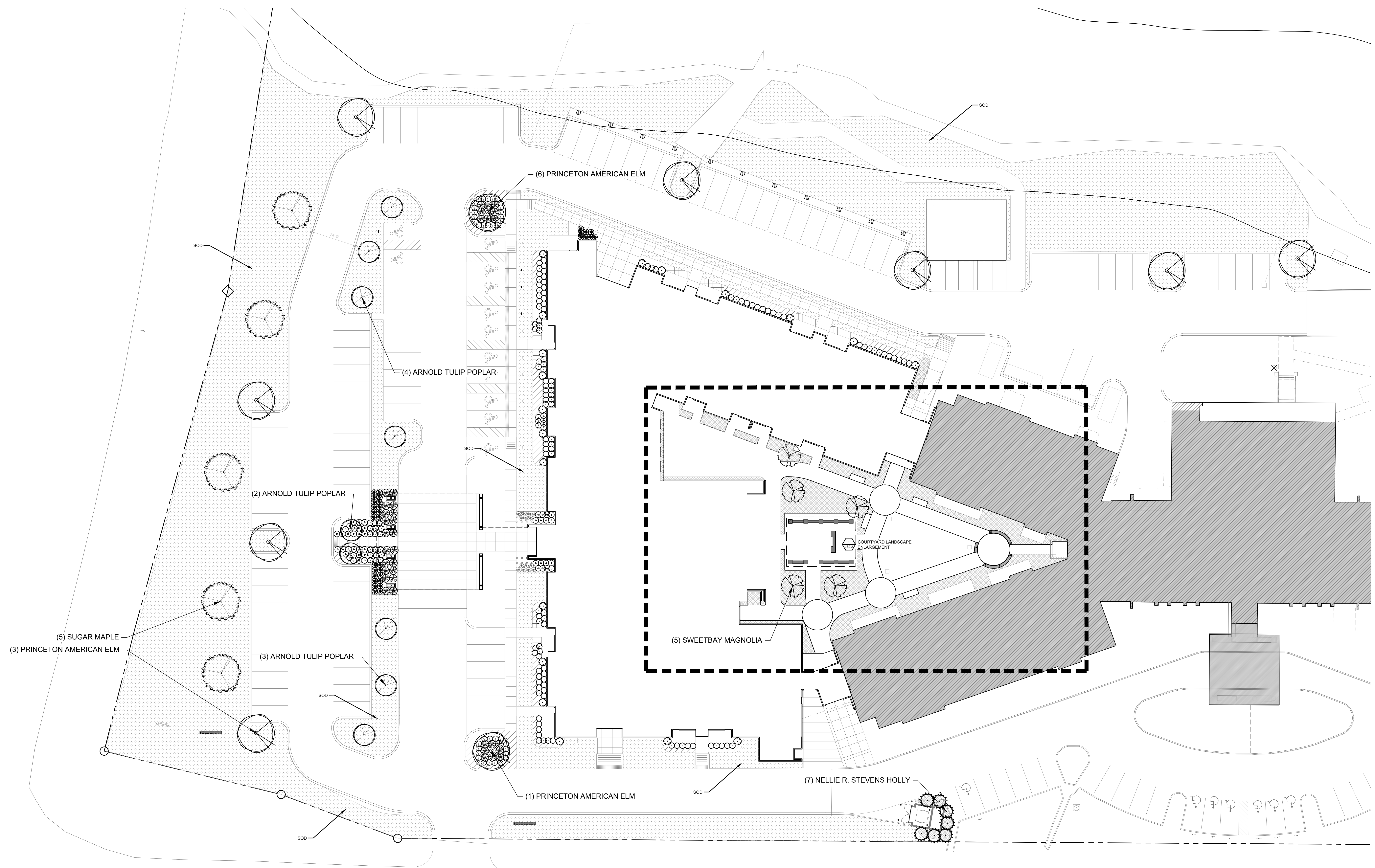


2 PAVING ENLARGEMENT-02
SCALE: 1:3



3 PAVING ENLARGEMENT-03
SCALE: 1:3

SEE PAVILION PLANS



1 LANDSCAPE PLAN
SCALE: 1" = 20'

SEARCY ARKANSAS LANDSCAPE REQUIREMENTS

COMMERCIAL OR MULTI-FAMILY DEVELOPMENTS

- a. A minimum of 20% green space with 1 planting Meeting the criteria herein for every 2,000 square feet of developed land area. OR
- b. A minimum of 15% green space with 1 planting meeting the criteria herein for every 1,500 square feet of developed land area.

TOTAL NUMBER OF TREES

- c. A minimum of 25% of plantings required shall consist of trees.

TOTAL NUMBER OF OTHER PLANTINGS

- d. The remainder of required plantings shall be shrubs meeting the criteria herein.
- e. Perennials may be substituted for up to 15% of the required number of shrubs at a ratio of 10 perennials: 1 shrub

PARKING AREAS

- f. Parking lots containing 15 or more spaces shall be landscaped with tree islands.

- 1. Single bay parking areas shall have tree islands with a minimum width of 10 feet and a minimum length of 18 feet, and an area not less than 180 square feet.
- 2. Double bay parking areas shall have tree islands with a minimum width of 10 feet and a minimum length of 36 feet, and an area not less than 360 square feet.
- 3. A maximum run of 15 parking spaces shall be permitted without a tree island.
- 4. Each tree island shall have at least one tree planting, and these trees may be counted towards the total number of trees required

TREE TYPE REQUIREMENTS

- a. A minimum of 40 percent of trees required shall be native species
- b. No more than 25 percent of trees required shall be ornamental
- c. At least 10% of trees required shall be evergreen
- d. Trees may be selected from the recommended plants found later in this section.
- e. Trees shall be selected for hardiness in local zones
- f. The following trees shall not be given planting credits on landscaping plans

- 1.1. Black Locust (Robinia Pseudacacia)
- 1.2. Cottonwood (Populus Trichocarpa)
- 1.3. Bradford pear (Pyrus Calleryana 'Bradford')
- 1.4. Mimosa (Albizia Julibrissin)
- 1.5. Privet (Ligustrum Siniense)

TREE SIZE REQUIREMENTS

- a. Deciduous shade trees must be at least 2" caliper
- b. Deciduous ornamental trees must be at least 1 1/2" caliper
- c. Evergreen must be at least 8' in height above finished grade

TREE LOCATION REQUIREMENTS

- a. Trees shall be equally distributed across the site to the extent possible.

SHRUB TYPE REQUIREMENTS

- a. Shrubs shall be selected for hardiness in local zones.

SHRUB SIZE REQUIREMENTS

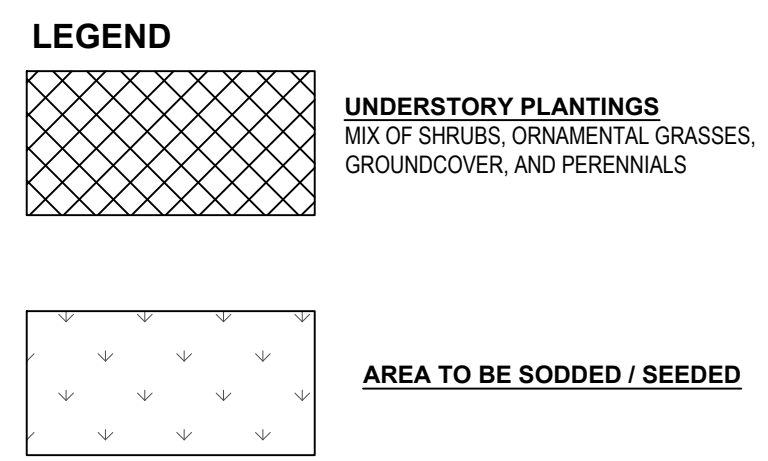
- a. Shrubs shall be three-gallon size at a minimum.

PERENNIAL REQUIREMENTS

- a. Perennials shall be 6" pot size at a minimum.

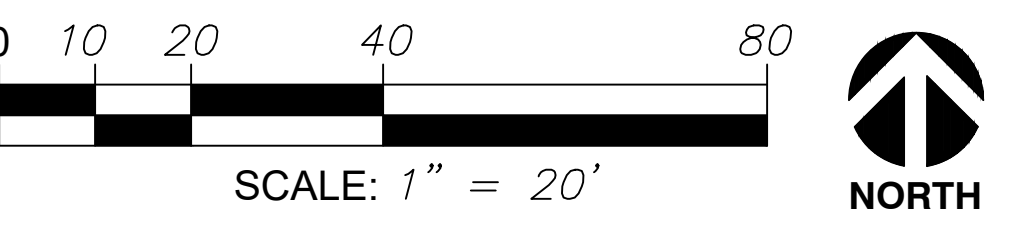
SCREENING

Landscape buffer zones, screening fences, or walls will be required where nonresidential zones abut residential zones. The width of the buffer shall be enough to provide a solid screen and shall be verified by the city. If plants or trees are to be used for screening, they must be evergreen and planted to provide a solid screen within three years.



PLANT SCHEDULE

QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	UNIT	COMMENTS
TREES						
5	Acer saccharum	Sugar Maple	2" Cal.	B&B	EA	Uniform branching, dominant leader
7	Ilex x 'Nellie R. Stevens'	Nellie R. Stevens Holly	1 1/2" Cal.	B&B	EA	Well branched, full to ground
9	Liriodendron tulipifera 'Arnold'	Arnold Tulip Poplar	2" Cal.	B&B	EA	Well branched, full head
5	Magnolia virginiana	Sweetbay Magnolia	1 1/2" Cal.	B&B	EA	Uniform branching, dominant leader
10	Ulmus americana 'Princeton'	Princeton American Elm	2" Cal.	B&B	EA	Uniform branching, dominant leader
QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	UNIT	COMMENTS
SHRUBS						
44	Abelia x grandiflora 'Hopleys'	Twist of Lime™ Glossy Abelia	3 gal.	Pot	EA	Full plant, free of weeds
14	Amonia hubrichtii	Arkansas Bluestar	1 1/2" Spr.	Pot	EA	Full plant, free of weeds
18	Clethra alnifolia 'Ruby Spice'	Ruby Spice Summersweet	3 gal.	Pot	EA	Full plant, free of weeds
19	Hydrangea quercifolia 'Snowflake'	Snowflake Oakleaf Hydrangea	3 gal.	Pot	EA	Full plant, free of weeds
94	Ilex vomitoria 'Nana'	Dwarf Yaspun Holly	3 gal.	Pot	EA	Full plant, free of weeds
28	Itea virginica 'Sprich'	Little Henry® Sweetspire	3 gal.	Pot	EA	Full plant, free of weeds
36	Juniperus x 'Grey Owl'	Grey Owl Juniper	3 gal.	Pot	EA	Full plant, free of weeds
37	Loropetalum chinense 'Shang-white'	Emerald Snow® Loropetalum	3 gal.	Pot	EA	Full plant, free of weeds
376	Muhlenbergia capillaris 'Lemax'	Regal Meib® Pink Munny Grass	3 gal.	Pot	EA	Full plant, free of weeds
QTY	BOTANICAL NAME	COMMON NAME	SIZE	UNIT	COMMENTS	SPACING
GROUND COVERS						
95	Hemerocallis x 'Aztec Gold'	Aztec Gold Daylily	4" pot	Fill Area	Weed-free and actively growing	16" o.c.
722	Liriope muscari 'Big Blue'	Big Blue Lilyturf	4" pot	Fill Area	Weed-free and actively growing	16" o.c.
146	Rudbeckia fulgida sultivantii 'Goldsturm'	Goldsturm Coneflower	1 gal.	Fill Area	Weed-free and actively growing	16" o.c.



SEAL:
NOT FOR
CONSTRUCTION FOR
REVIEW ONLY

JOB NUMBER
25015

REVISIONS
DATE DESCRIPTION

PROJECT TITLE
HARDING PLACE

801 Benton Ave,
Searcy, AR 72143

DRAWING NAME

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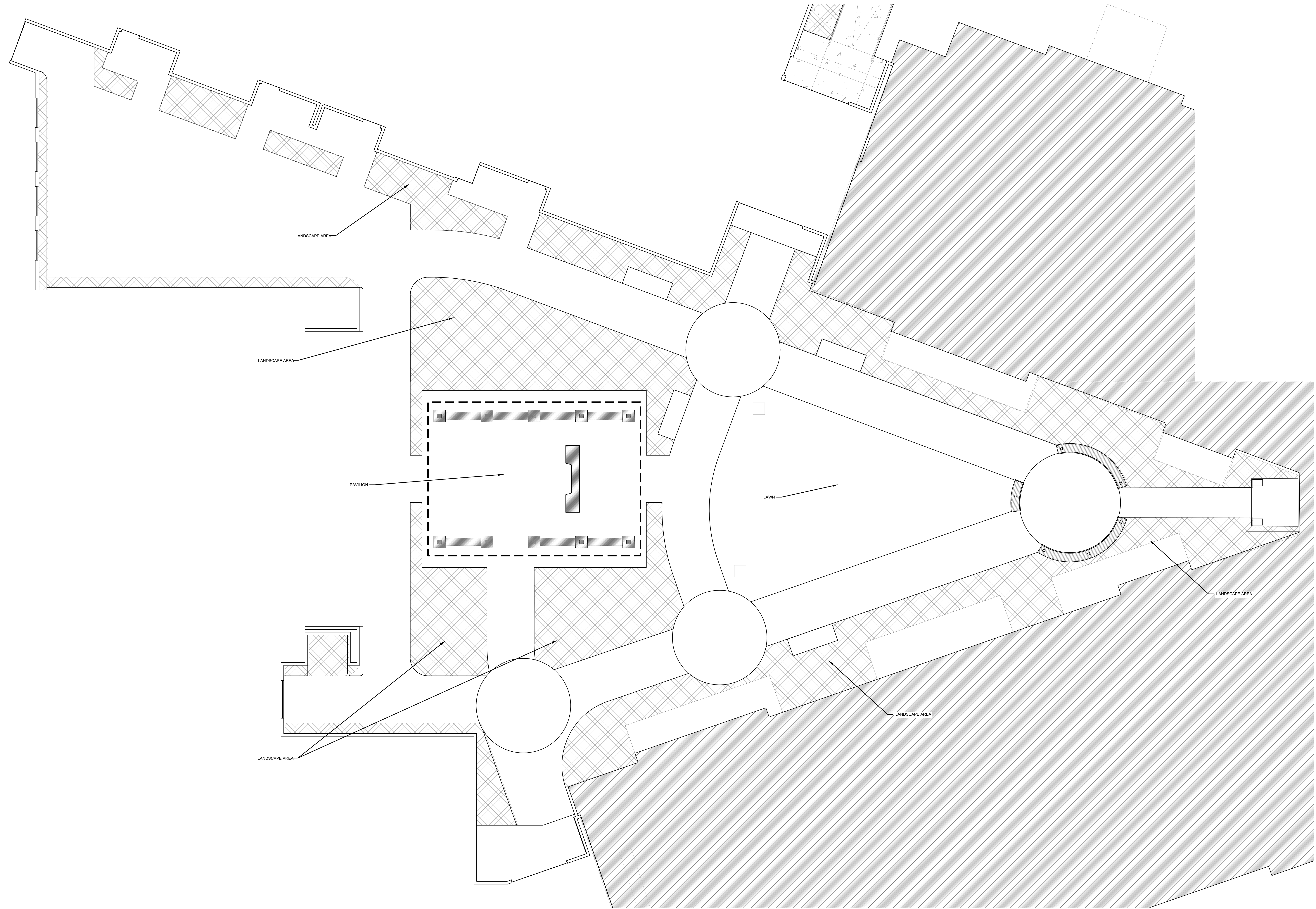
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PHASE

50% CD's
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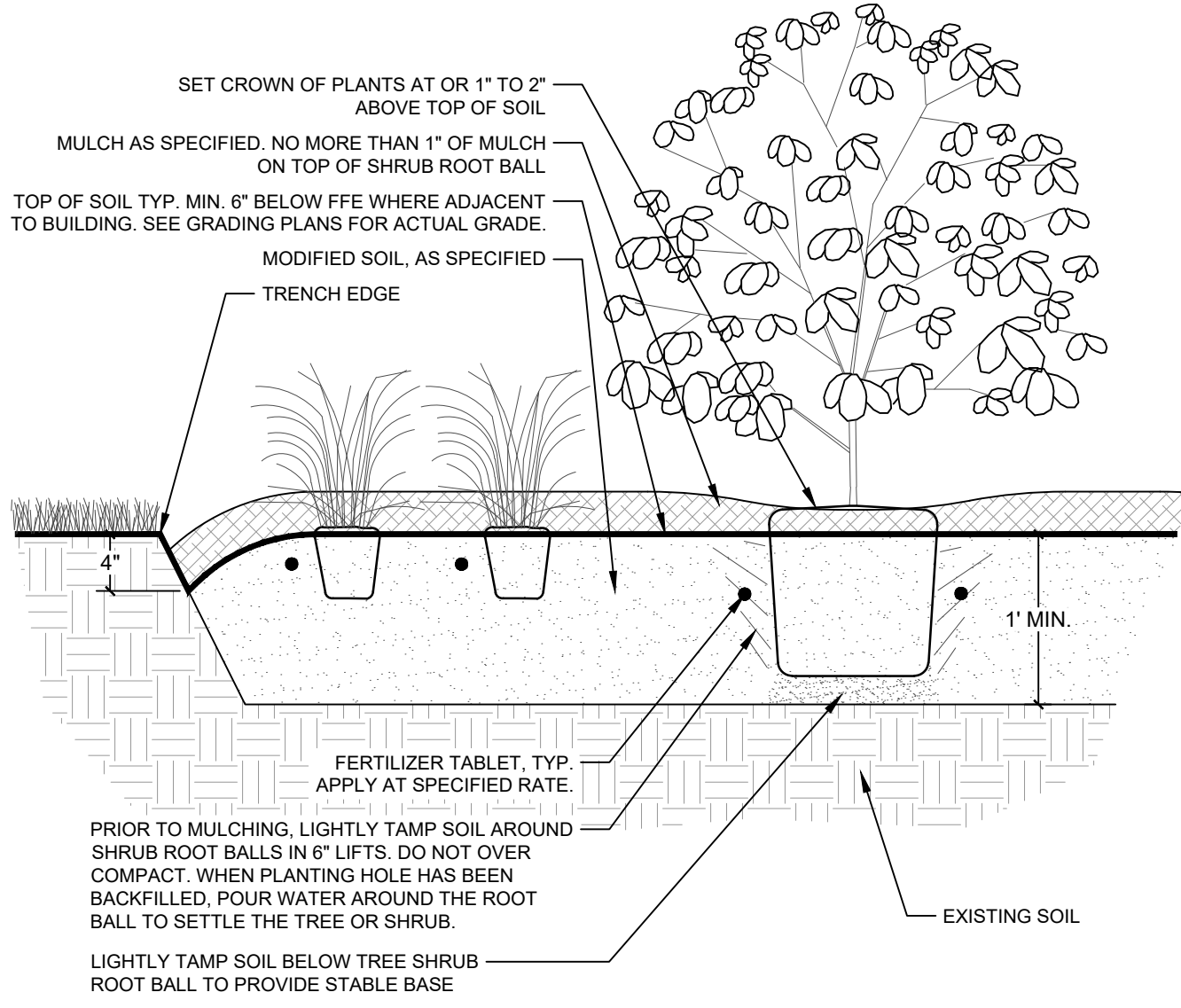
50% CD's
DRAWING NUMBER

GENERAL PLANTING NOTES

- CONTRACTOR TO CAREFULLY EXAMINE THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS BEFORE SUBMITTING BID 17.
- PROPOSAL OR COMMENCING WORK.
- CONTRACTOR'S BASE TO INCLUDE ALL MATERIALS, BED PREP, LABOR, PERMITS, EQUIPMENT, TOOLS, INSURANCE, ETC. TO PERFORM THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS.
- PLANT QUANTITIES SHOWN ARE FOR CONTRACTOR CONVENIENCE. CONTRACTOR SHALL VERIFY BEFORE SUBMITTING BID PROPOSAL THAT QUANTITIES SHOWN WILL ADEQUATELY FULFILL THE DESIGN INTENT AND SHALL VERIFY PRIOR TO PLACEMENT THAT QUANTITIES ARE ADEQUATE. CONTRACTOR SHALL NOTIFY OWNER OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
- DAMAGE TO EXISTING UTILITIES OR SITE IMPROVEMENTS CAUSED BY THE CONTRACTOR ARE THE FULL RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S COST, SUBJECT TO OWNER'S APPROVAL. CONTRACTOR TO LOCATE UNDERGROUND UTILITIES WITH FLAGS/MARKINGS PRIOR TO EXCAVATING.
- REQUIREMENTS FOR DEFINITIONS, GRADING TOLERANCES, BOLLING AND BURLAPPING, CONTAINER GROWN PLANTS, ETC. SHALL BE IN ACCORDANCE WITH THE "USA STANDARD FOR NURSERY STOCK" AND Z60.1, LATEST EDITION, AND ANSI Z193.1, LATEST EDITION, ADOPTED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. PLANTS SHALL BE MEASURED BEFORE PRUNING WITH BRANCHES IN NORMAL POSITION, AND ANY NECESSARY PRUNING SHALL BE DONE AT TIME OF PLANTING, WHERE PLANT SIZE ARE GIVEN IN A RANGE, THE PLANTS PROVIDED SHALL AVERAGE THE MEDIAN OF THE RANGE OR BETTER.
- UNLESS SPECIFICALLY NOTED OTHERWISE, ALL PLANTS SHALL BE OF SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, SYMMETRICAL, THICKLY BRANCHED, SO TRAINED OR TREATED IN THEIR DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY OF FIRST QUALITY IN FORM, BRANCH, STRUCTURE, BUDS, FRUIT, COMPACTNESS, AND SYMMETRY. ANY TREE HAVING A WEAK, THIN TRUNK, NOT CAPABLE OF SUPPORTING ITSELF WHEN PLANTED IN THE OPEN, WILL NOT BE ACCEPTED. INFERIOR PLANT MATERIAL TO BE REJECTED.
- ALL PLANTS SHALL COMPLY WITH FEDERAL AND STATE LAWS AND REGULATIONS REQUIRING INSPECTION FOR PLANT DISEASES, PESTS, AND WEEDS. CERTIFICATES OF INSPECTION SHALL ACCOMPANY THE INVOICE FOR EACH SHIPMENT OF PLANTS AS REQUIRED BY LAW.
- ALL PLANTS SHALL BE TRUE TO NAME AS ORDERED OR SHOWN ON THE PLANTING PLANS AND SHALL BE LABELED INDIVIDUALLY OR IN GROUPS BY SPECIES AND CULTIVAR. SUBSTITUTIONS WILL ONLY BE PERMITTED UPON SUBMISSION OF PROOF THAT A PARTICULAR VARIETY OF PLANT IS NOT OBTAINABLE, AND UPON AUTHORIZATION BY THE OWNER OR OWNER'S REPRESENTATIVE. SUBSTITUTIONS SHALL BE OF THE NEAREST EQUIVALENT OBTAINABLE SIZE, AND OF SIMILAR CHARACTERISTICS, WITH AN ADJUSTABLE ADJUSTMENT OF CONTRACT SUM.
- ALL PLANTS SHALL BE GUARANTEED LIVE FOR 12 MONTHS. THE GUARANTEE PERIOD SHALL BEGIN AT THE TIME OF WRITTEN APPROVAL OF ACCEPTANCE BY THE OWNER OF (A) THE LANDSCAPE AND (B) THE RESPONSIBILITY OF MAINTAINING THE LANDSCAPE. IF PLANTS ARE FOUND TO BE DEAD, DYING, OR OF POOR APPEARANCE AT ANY TIME DURING THIS PERIOD, THEY SHALL BE REPLACED AT NO ADDITIONAL COST.
- ALL PLANTS THAT HAVE BEEN FOUND TO BE DEAD, DYING, OR OF POOR APPEARANCE SHALL BE IMMEDIATELY REMOVED AND THE OWNER NOTIFIED. REPLACEMENT OF TREES AND LARGE SHRUBS SHALL BE MADE AT THE BEGINNING OF THE NEXT PLANTING SEASON. REPLACEMENT OF SMALLER PLANTS SHALL BE MADE WITHIN 30 DAYS FOLLOWING THE INSPECTION OF THAT DETERMINED THE REQUIRED REPLACEMENT. THE OWNER SHALL BE NOTIFIED PRIOR TO ALL REPLACEMENT WORK.
- ANY PLANT THAT DIES, HAS AN UNHEALTHY CONDITION, OR POOR APPEARANCE PRIOR TO OWNER ACCEPTANCE SHALL BE REPLACED. THIS REPLACEMENT SHALL NOT BE CONSIDERED AS A GUARANTEE REPLACEMENT. ALL REPLACEMENTS SHALL BE MADE WITH PLANTS OF THE SAME KIND, AND IN THE SAME MANNER AS SPECIFIED FOR THE ORIGINAL PLANTING, AT NO ADDITIONAL COST TO THE OWNER.
- ALL TREES ARE TO BE STAKED, UNLESS SPECIFICALLY DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE. BRACING SHALL UTILIZE A STANDARD FLAT, WOVEN POLYPROPYLENE, 900-LB. BREAK STRENGTH SUCH AS "ARBOR TIE" OR APPROVED EQUAL. STAKE OR CUT NYLON OR TRANSPARENT TREE WITH THREE STAKES, 2" x 8" HARDWOOD. ALL STAKING MATERIAL SHALL BE REMOVED BY THE CONTRACTOR AT THE END OF THE WARRANTY PERIOD.
- CONTRACTOR TO PROVIDE MINERAL MAINTENANCE (WATERING, PRUNING, FERTILIZING, GUYING, MOWING, TRIMMING, ADEQUATE DRAINAGE OF PONDING AREAS, EROSION, WEEDING, MULCHING, APPLICATION OF INSECTICIDES/HERBICIDES, AND GENERAL LANDSCAPE CLEANUP) UNTIL WRITTEN NOTICE OF ACCEPTANCE BY OWNER. CONTRACTOR SHALL PERFORM WORK IN COMPLIANCE WITH ALL APPLICABLE LAWS, CODES, AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK AND PROVIDE PERMITS REQUIRED BY LOCAL AUTHORITIES.
- SIDEWALKS, ROADS, AND OTHER PAVEMENT ADJACENT TO PLANTING OPERATION SHALL BE KEPT CLEAN AND FREE OF OBSTRUCTIONS.
- INsofar AS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE PLANTING CONTRACTOR SHALL PROTECT THE STOCK NOT PLANTED. PLANTS SHALL BE PROTECTED AT ALL TIMES FROM SUN OR DRYING WINDS. PLANTS THAT CANNOT BE PLANTED IMMEDIATELY ON DELIVERY SHALL BE KEPT IN THE SHADE, WITH THE ROOT MASS WELL PROTECTED AND KEPT WELL-WATERED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN THREE DAYS AFTER DELIVERY TO THE SITE.
- UPON INSPECTION OF ALL TREES, THE FOLLOWING CHARACTERISTICS SHALL BE FOUND.
 - CROWN FORM, THE FORM OR SHAPE OF THE CROWN IS TYPICAL FOR A YOUNG SPECIMEN OF THE SPECIES/CULTIVAR. THE CROWN IS NOT SIGNIFICANTLY DAMAGED BY WIND, PRUNING PRACTICES, PESTS OR OTHER FACTORS.
 - LEAVES, THE SIZE, COLOR AND APPEARANCE OF LEAVES ARE TYPICAL FOR THE TIME OF YEAR AND STAGE OF GROWTH OF THE SPECIES/CULTIVAR. LEAVES ARE NOT STUNTED, MISSHAPEN, TATTERED, DISCOLORED (CHLOROTIC OR NECROTIC) OR OTHERWISE ABNORMAL.
 - BRANCHES, SHOOT GROWTH (LENGTH AND DIAMETER) THROUGHOUT THE CROWN IS TYPICAL FOR THE AGE/SIZE OF THE SPECIES/CULTIVAR. TREES DO NOT HAVE DEAD, DISEASED, BROKEN, DISTORTED OR OTHER SERIOUS BRANCH INJURIES.
 - TRUNK, THE TREE TRUNK SHOULD BE STRAIGHT, VERTICAL AND FREE OF WOUNDS (EXCEPT PREVIOUSLY MADE PRUNING CUTS), SUNBURST AREAS, CONKS (FUNGAL FRUITING BODIES), WOOD CRACKS, BLEEDING AREAS, SIGNS OF BORING INSECTS, GALLS, CANKERS, LESIONS AND GIRDLING TIES.
 - ROOTS, THE ROOT SYSTEM IS FREE OF INJURY FROM BIOTIC (INSECTS, PATHOGENS, ETC) AND ABIOTIC AGENTS (HERBICIDE TOXICITY, SALT INJURY, EXCESS IRRIGATION). IN SUBURBAN SETTINGS, THE TRUNK, ROOT COLLAR (ROOT CROWN), AND LARGE ROOTS SHALL BE FREE OF CIRCLING AND/OR KINKED ROOTS. SOIL REMOVAL NEAR THE ROOT COLLAR MAY BE NECESSARY TO INSPECT FOR CIRCLING AND/OR KINKED ROOTS. THE TREE SHALL BE WELL-ROOTED IN THE SOIL MIX. WHEN THE CONTAINER IS REMOVED, THE ROOT BALL SHALL REMAIN INTACT. WHEN THE TRUNK IS CAREFULLY LIFTED, BOTH THE TRUNK AND ROOT SYSTEM SHALL MOVE AS ONE. THE UPPER-MOST ROOTS OR ROOT COLLAR SHALL BE WITHIN 1" (ONE INCH) ABOVE OR BELOW THE SOIL SURFACE.
 - CENTRAL LEADER, TREES SHALL HAVE A SINGLE, RELATIVELY STRAIGHT CENTRAL LEADER AND TAPERED TRUNK, FREE OF CODOMINANT STEMS AND VIGOROUS, UPRIGHT BRANCHES THAT COMPETE WITH THE CENTRAL LEADER.
 - MAIN BRANCHES, (EQ. ADJ.) BRANCHES SHOULD BE DISTRIBUTED RADIALLY AROUND AND VERTICALLY ALONG THE TRUNK, FORMING A GENERALLY SYMMETRICAL CROWN TYPICAL FOR THE SPECIES.
- FOR ALL TURF LAWN AREAS, TOPSOIL SHALL BE USED TO REACH FINISH GRADE. CULTIVATE EXISTING SOIL TO A DEPTH OF 4" BELOW TOPSOIL LAYER. HAND DARE TO PROVIDE EVEN CONTOURS. GENERAL CONTRACTOR TO PROVIDE GRADES WITHIN TWO-TENTHS (20+) OF A FOOT OF PROPOSED FINISH GRADES.
- NOTIFY THE OWNER AT LEAST 48 HOURS IN ADVANCE OF THE TIME CONTRACTOR INTENDS TO BEGIN SODDING AND SHALL NOT PROCEED WITH SUCH WORK UNTIL PERMISSION TO DO SO HAS BEEN GRANTED BY THE OWNER. BEFORE STARTING THE GRASSING OPERATION ON ANY AREA, FINAL DRESSING SHALL HAVE BEEN COMPLETED.
- INsofar AS PRACTICABLE, SOD SHALL BE LAID THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, THE PLANTING CONTRACTOR SHALL PROTECT THE SOD NOT Laid BY PLACING IT IN A SHADED AREA. SOD THAT CANNOT BE LAID IMMEDIATELY ON DELIVERY SHALL BE KEPT WELL-WATERED AND SHALL NOT REMAIN UNPLANTED FOR LONGER THAN 48 HOURS AFTER DELIVERY TO THE SITE. ANY SOD LEFT UNPLANTED FOR A LONGER PERIOD IS SUBJECT TO REJECTION BY THE OWNER.
- PRIOR TO PLACING SOD, FERTILIZER AND LIMES SHALL BE APPLIED UNIFORMLY TO PREPARED SURFACE. AFTER PLACING THE SOD, IT SHALL BE THOROUGHLY WETTED AND ROLLED WITH APPROVED ROLLER. HAND TAMP THREE WEEKS AFTER INSTALLATION. AMMONIUM NITRATE SHALL BE APPLIED TO NEWLY SODDED AREA AND THEN WATERED.
- ALL AREAS TO BE SEEDED WITH GRASS SEED TO RECEIVE A MINIMUM OF 4" OF TOPSOIL. FINISH GRADE TOLERANCE OF 1". CONTRACTOR TO VERIFY THAT FINISH GRADE IS FREE OF STONES OR CLODS LARGER THAN 1-1/2" DIAMETER AND FREE OF TRASH. NOTIFY GENERAL CONTRACTOR IF THESE CONDITIONS ARE NOT PRESENT.
- SEED MIX SHALL BE COMMON BERMUDA AND SHALL BE SOWN BETWEEN MAY 1 AND JULY 31. SOW AT A RATE OF 50 LBS. P.L.S. (PURE LIVE SEED) PER ACRE. ALL SEED MIXTURES SHALL BE APPLIED BY HYDRO-SEEDING UNLESS OTHERWISE SPECIFIED. ALL DISTURBED AREAS NOT OTHERWISE LANDSCAPED, PAVED OR SODDED SHALL BE SEED.
- IF SEEDS AREAS DO NOT SHOW A UNIFORM OR HEALTHY STAND OF GRASS, WITH A 90 PERCENT OR GREATER COVERAGE AFTER 28 CALENDAR DAYS, RESEED AND/OR RE-FERTILIZE THOSE AREAS AS DIRECTED BY THE OWNER WITHOUT ANY ADDITIONAL COST TO THE OWNER.
- IN ADDITION TO ANY REQUIREMENTS DESCRIBED ABOVE, AT TIME OF FINAL ACCEPTANCE, SEEDED AND SODDED AREAS SHALL SHOW A UNIFORM OR HEALTHY STAND OF GRASS, WITH A MINIMUM OF 90 PERCENT COVERAGE. AREAS NOT MEETING THIS REQUIREMENT SHALL BE RE-SEED OR RE-SODDED AND RE-FERTILIZED AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE WITHOUT ANY ADDITIONAL COST TO THE OWNER.

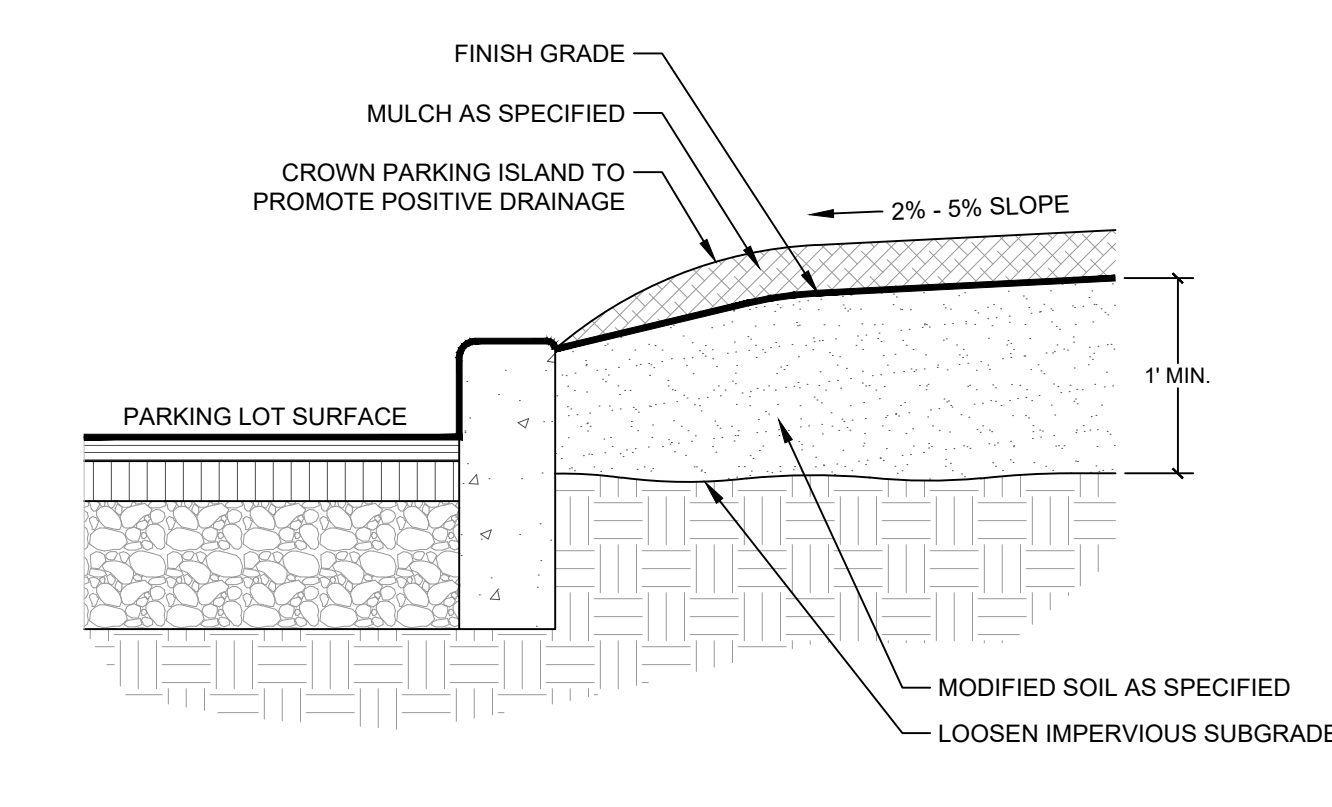
SEEDING AND SODDING NOTES

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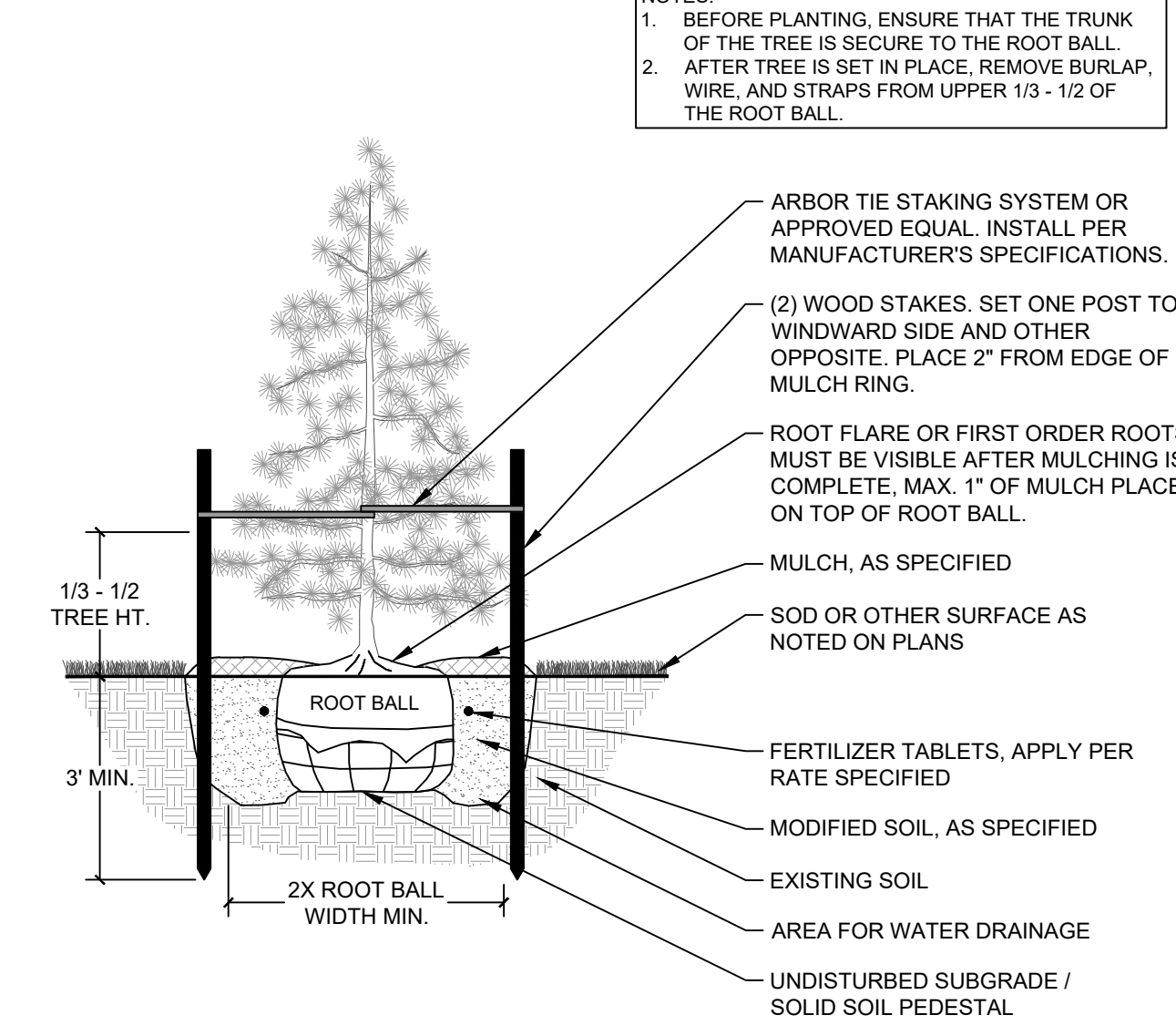
3 SHRUB AND GROUNDCOVER PLANTING

NOT TO SCALE



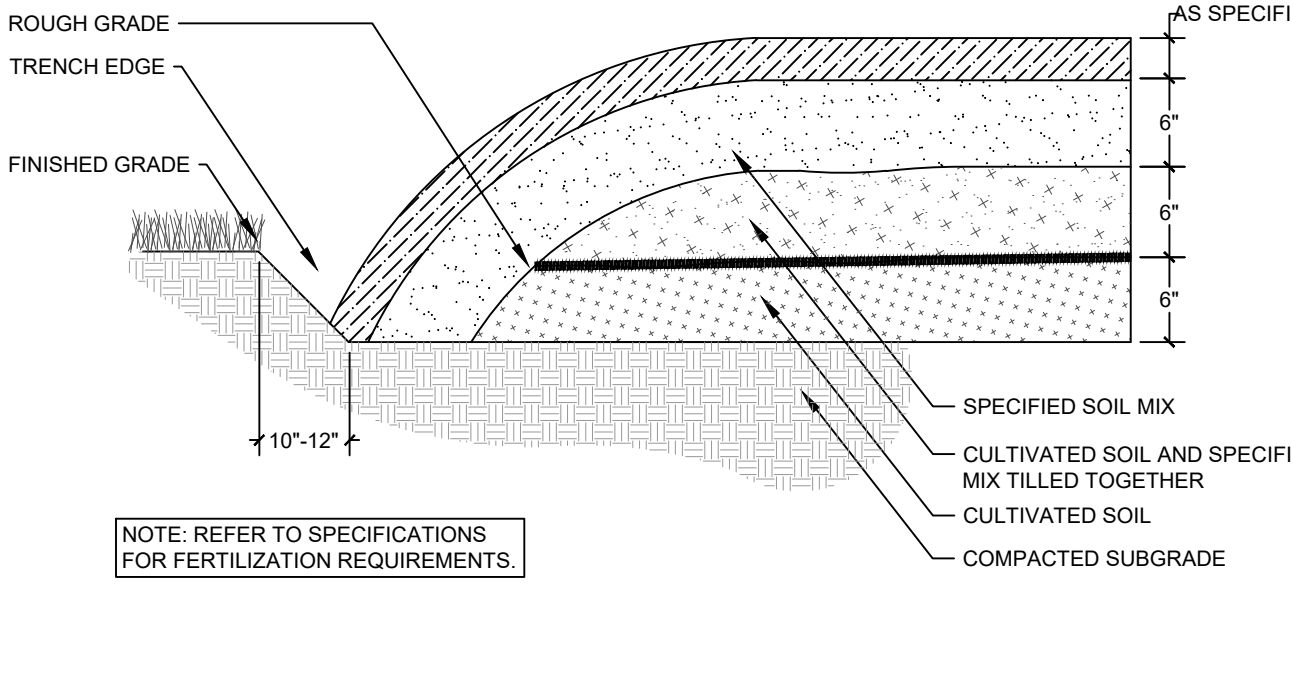
6 PARKING LOT ISLAND DETAIL

NOT TO SCALE



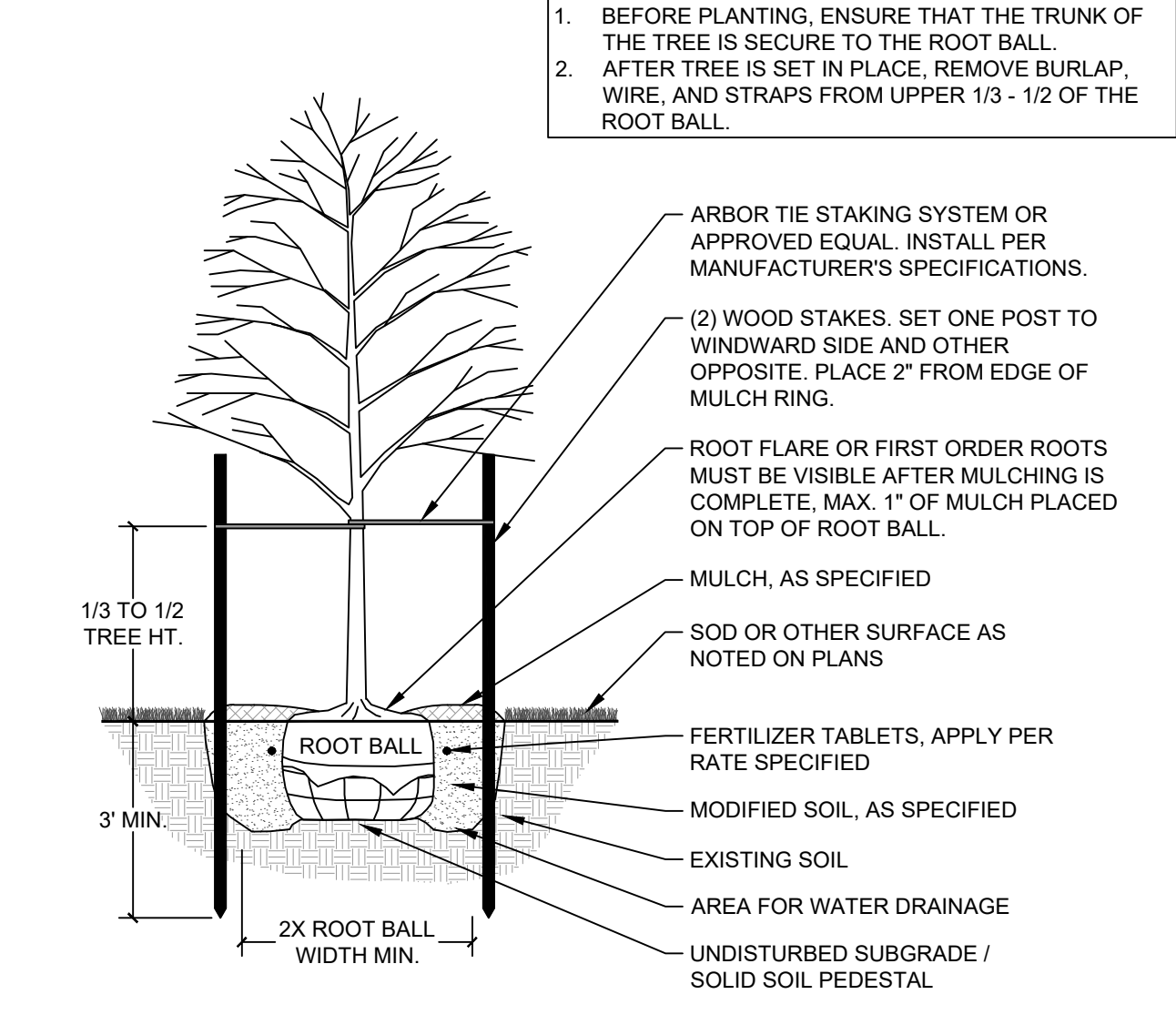
2 TREE PLANTING & STAKING (EVERGREEN)

NOT TO SCALE



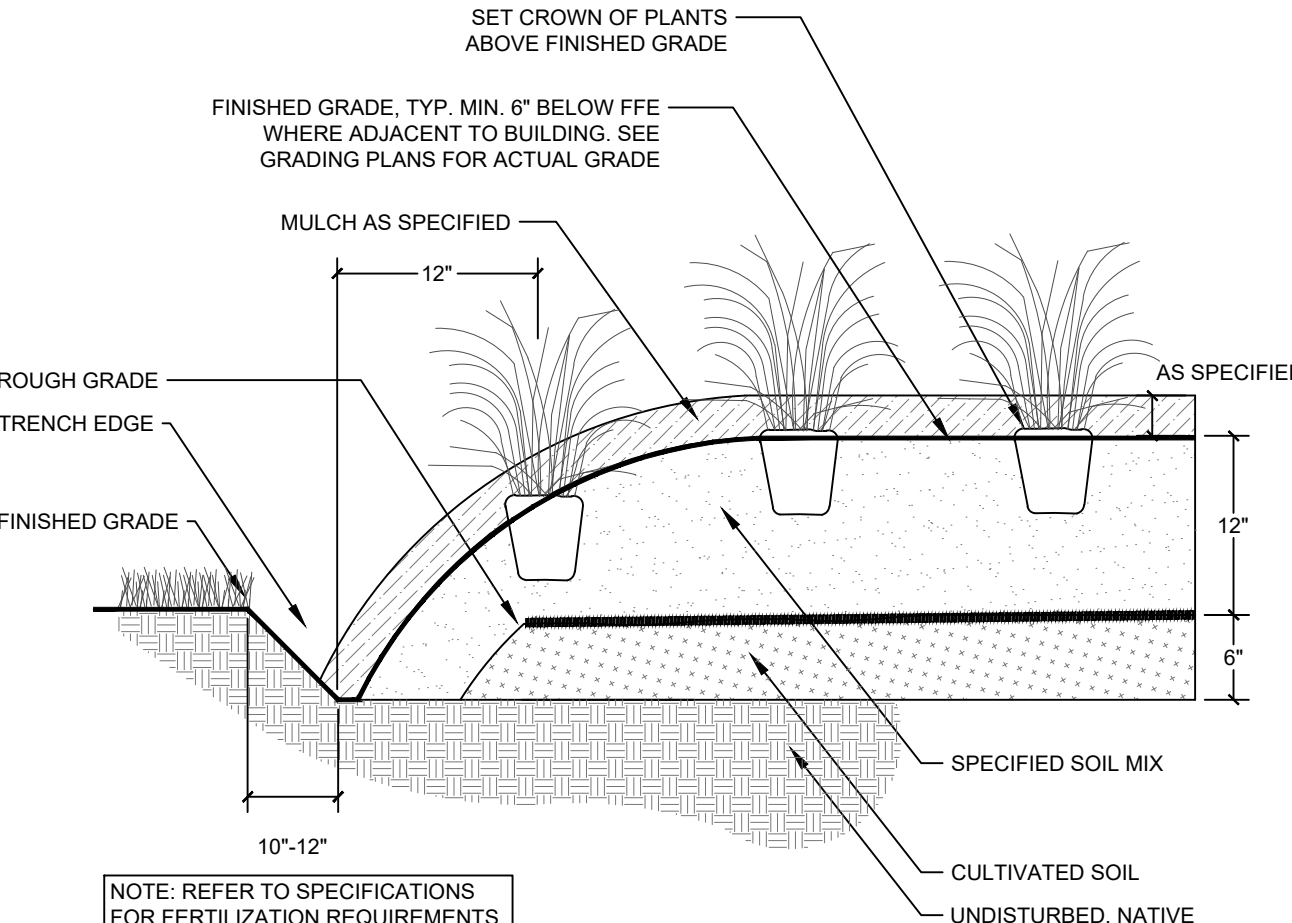
5 TRENCH EDGE PLANTING BED

NOT TO SCALE



1 TREE PLANTING AND STAKING

NOT TO SCALE



4 SEASONAL COLOR & PERENNIAL BED PREP

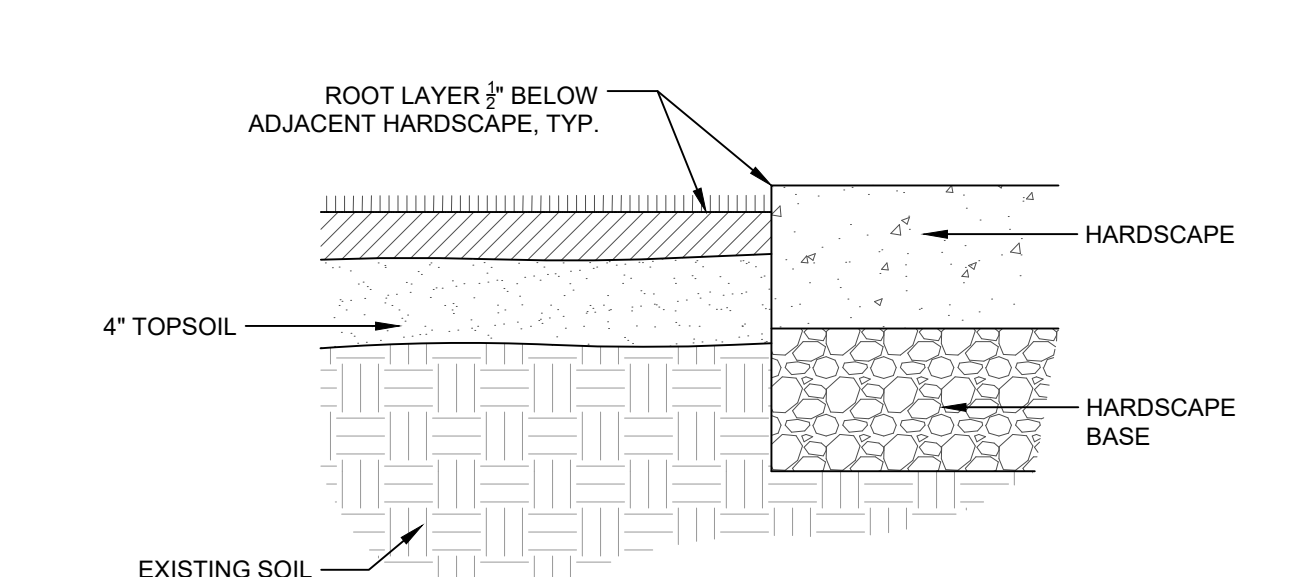
NOT TO SCALE

GROUND COVER LAYOUT PLAN

PLANT SPACING	ROW SPACING
16"	74"
6"	5.2"
8"	6.92"
10"	8.66"
12"	10.40"
15"	13.00"
18"	15.60"
24"	20.80"

8 TYP PLANT MASS SPACING

NOT TO SCALE



7 SOD INSTALLATION

NOT TO SCALE

QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	UNIT	COMMENTS
TREES						
5	Acer saccharum	Sugar Maple	2" Cal	B&B	EA	Uniform branching, dominant leader
7	Ilex x 'Nellie R. Stevens'	Nellie R. Stevens Holly	1.5" Cal	B&B	EA	Well branched, full to ground
7	Liriodendron tulipifera 'Arnold'	Arnold Tulip Poplar	2" Cal	B&B	EA	Well branched, full head
5	Magnolia virginiana	Sweetbay Magnolia	1.5" Cal	B&B	EA	Uniform branching, dominant leader
10	Ulmus americana 'Princeton'	Princeton American Elm	2" Cal	B&B	EA	Uniform branching, dominant leader
QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	UNIT	COMMENTS
SHRUBS						
16	Abelia x grandiflora 'Hopleys'	Twist of Lime™ Glossy Abelia	3 gal.	Pot	EA	Full plant, free of weeds
14	Amsonia hubrichtii	Arkansas Bluestar	18" Spr.	Pot	EA	Full plant, free of weeds
19	Hydrangea quercifolia 'Snowflake'	Snowflake Oakleaf Hydrangea	3 gal.	Pot	EA	Full plant, free of weeds
84	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	3 gal.	Pot	EA	Full plant, free of weeds
28	Itea virginica 'Spirich'	Little Henry® Sweetgum	3 gal.	Pot	EA	Full plant, free of weeds
8	Juniperus x 'Grey Owl'	Grey Owl Juniper	3 gal.	Pot	EA	Full plant, free of weeds
17	Loropetalum chinense 'Shang-white'	Emerald Snow® Loropetalum	3 gal.	Pot	EA	Full plant, free of weeds
8	Muhlenbergia capillaris 'Lunca'	Regal Mist® Pink Mundy Grass	3 gal.	Pot	EA	Full plant, free of weeds
QTY	BOTANICAL NAME	COMMON NAME	SIZE	UNIT	COMMENTS	SPACING
GROUND COVERS						
36	Hemerocallis x 'Aztec Gold'	Aztec Gold Daylily	4" pot	Fill Area	Weed-free and actively growing	16" o.c.
395	Liriope muscari 'Big Blue'	Big Blue Lijufur	4" pot	Fill Area	Weed-free and actively growing	16" o.c.
44	Rudbeckia fulgida sultivarii 'Goldsturm'	Goldsturm Coneflower	1 gal.	Fill Area	Weed-free and actively growing	16" o.c.



PLANNING REPORT

TO: Planning Commission, City of Searcy
FROM: Richard Stafford, Planning & Development Director
SUBJ: April 1, 2026 Planning Commission Meeting
DATE: March 27, 2026

There are 3 actionable items scheduled for the upcoming Planning Commission meeting.

Planning Commission

1. Conditional Use Permit – School in R-3 Zone – CrossPointe Preparatory

CrossPointe Preparatory is operating a school out of the Westside Church of Christ. This type of use is classified as “Institutional/Public – Small Scale” in the zoning code and requires a Conditional Use Permit. This was brought to our attention from a Code Enforcement complaint and we verified they did not have a Conditional Use Permit. They have gone through the process of notification for the public hearing and have submitted all their application materials to staff’s satisfaction.

2. Rezone – UT to PUD – Parkway Meadows Addition – Davidson Engineering

This is a proposed one-unit residential subdivision. This application is for a rezone from UT to PUD and approval of the Preliminary Plat/Zoning Plan. If approved the applicant will still have to provide the staff full construction documents that match exactly the plan approved at the Commission. Our understanding is the applicant is requesting PUD to get a little higher density than the regular residential zones. The smallest lot width currently in our residential zones is 65 ft. and these lots are mostly proposed at 55 ft. All required application materials have been submitted.

There was one issue with the letter sent to the adjacent property owners. All the information on the letter, including date, time, and location of the public hearing as well as what they were proposing were correct. The owner’s name was incorrect. The applicant sent new notifications to the adjacent property owners again with the correction. In discussing the matter with Will Moore, neither of us believed this was a reason for the staff to table the application, but wanted to make the Commission aware.

3. Large Scale Development – Harding Place – Davidson Engineering

This is a Large Scale Development for an addition to Harding Place at the corner of Beebe-Capps and Benton. Mr. Davidson has worked with the City staff to address all of our comments through our review process and the staff has no issues with the application.